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PROPOSED ROCK EXTRACTION

# OPERATION PLAN

## Code of Practice for Small Quarries



<b>Report Reference</b>	ARVA03-OPS PLAN
<b>Client Contact</b>	Luke Brady
<b>Client</b>	Arvanitis
<b>Address</b>	131 Terry Road, Barwite, VIC 3722
<b>Revision</b>	B
<b>Review Description</b>	Operation Plan for Rock Removal
<b>Author</b>	Nick Malkin
<b>Date</b>	14 <sup>th</sup> April 2025

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## 1. Introduction and Background

### 1.1. Introduction

This Operation Plan has been prepared in order facilitate the removal of mudstone rocks from the property at 475 Glenroy Road, Barwite, Victoria 3722, identified as Council Property Number A18675.

The extraction of the rocks necessitates disturbance of the soil and consequently requires a planning permit in accordance with the requirements of Clause 52.09-2 of the Mansfield Planning Scheme.

Extraction of the rocks will be by mechanical means to a maximum depth of 5m. The total area involved will be less than 5 ha and the extraction will be conducted in 5 no. 1 hectare stages.

It should be noted that this plan includes the rehabilitation of previously disturbed areas outside of the aforementioned 5 ha area.

Site Address:	131 Terry Road Barwite 3722
Plan No(s):	Lot 2\ PS824836Y
Land Size:	85.5 Ha
Clients Name:	Arvanitis
Clients Address:	c/- Malkin Consulting 0425 701 471
Clients Phone:	/- Malkin Consulting 0425 701 471
Council Area:	Mansfield Shire Council
Zoning:	Farming Zone (FZ)
Overlays (Current)	Significant Landscape Overlay – Schedule 1
	Environmental Significance Overlay – Schedule 2

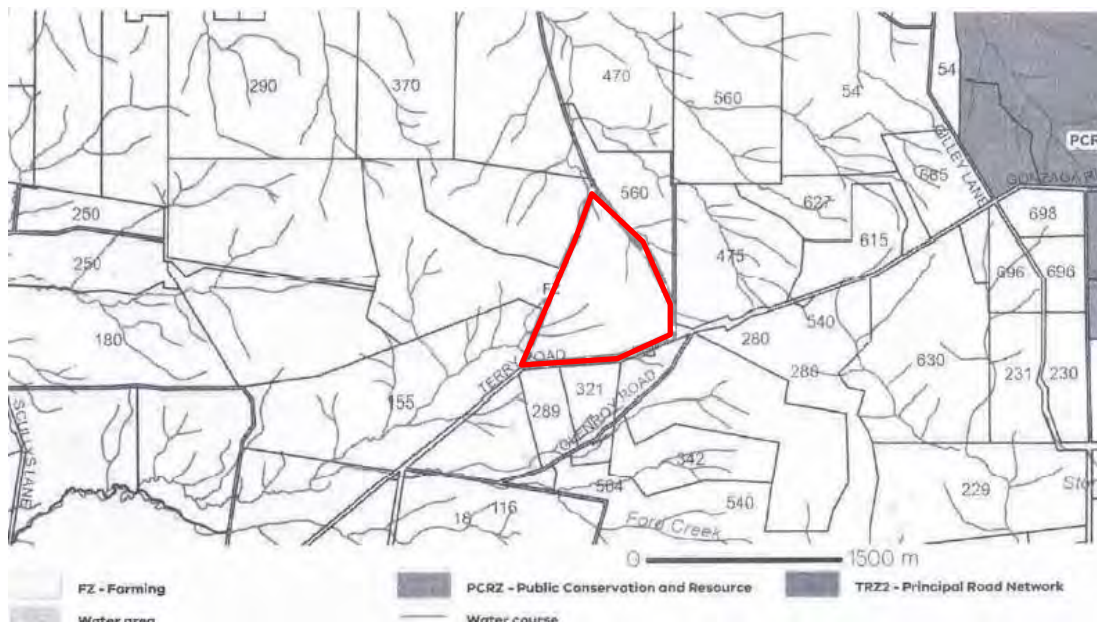


Figure 1 – Location within Farming Zone

## 1.2. Location & Surrounding Land Use

The proposed worksite is located at 131 Terry Road, Barwite, approximately 14 km Northeast of Mansfield. It is accessed via Terry Road, approximately 4km Northeast from the intersection with Mt Buller Road. The site is within undulating country, the subject land being completely pastured, with no timber or vegetation. The site is located within a Farming Zone and surrounding land use is predominantly agriculture.

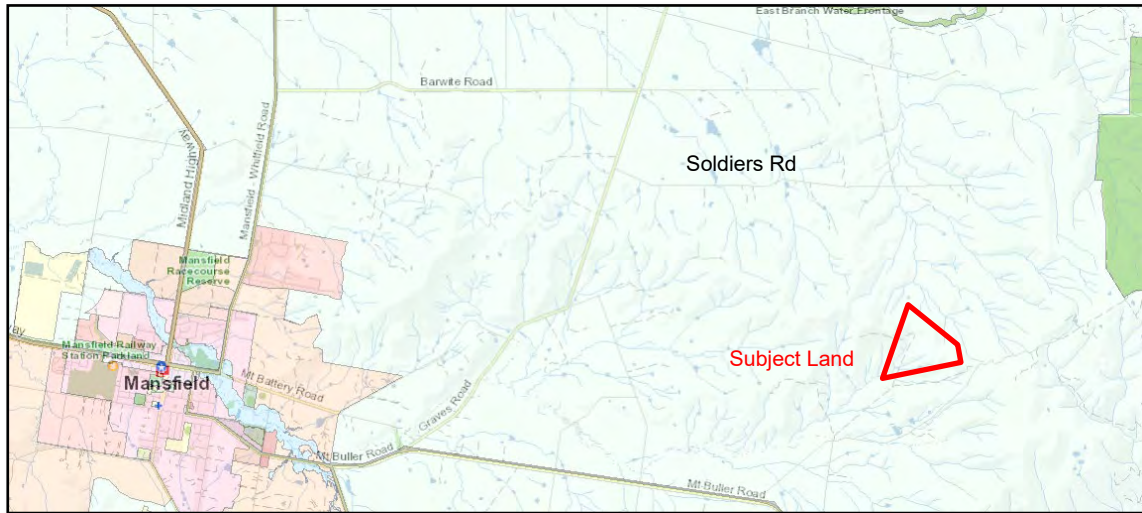


Figure 2 - Locality Plan

## 1.3. Legislation & Statutory Requirements

Reference has been made in the design of the development plan to the following legislation and guidelines:

- Code of Practice for Small Quarries, Earth Resources/Resources Victoria
- Mineral Resources Development Act 1990 (MRSD Act)
- Preparation of Rehabilitation Plans March 2021 – Earth Resources Regulation
- Occupational Health and Safety Act 2004
- Environment Protection Act 2017
- Mansfield Planning Scheme Cl. 52.09 Extractive Industry and Extractive Industry Interest Areas

## 1.4. Cultural Heritage Considerations

A review of available data pertaining to cultural heritage sites showed no listed sites in the area of the property. We have sought the advice of registered Heritage Advisor Redgum Environmental Services regarding the Work Area site, and they have reported as follows -

*“My review of ACHRIS (the existing sites online database administered by FSPR) revealed:*

- a. There are NO (zero) recorded Aboriginal places within the Activity area.*
- b. There are NO (zero) Historic References within the Activity area.*
- c. There are NO (zero) preliminary reports or CHMPs that have been prepared within or adjacent to the Activity area.*
- d. Therefore, in this case, NO (zero) cultural heritage permits would be required.*

*I don't think that a CHMP is warranted on that site given the position in the landscape (low archaeological potential) in any case. However, it would be a good idea for the Ops Plan to have some contingencies in it at the very least in case an 'unexpected find' presents during the operations.”*

The Operations Plan incorporates Aboriginal Relics Fact Sheets in Appendix D.

### **1.5. Overlays**

The property is subject to Significant Landscape (SLO1) or Environmental Significance (ESO2) Overlays. The land is zoned for farming and will be rehabilitated to arable pasture for stock agistment upon closure of the extraction works.

### **1.6. Extraction Quantities**

It is estimated that for each 1Ha stage, 2,000m<sup>3</sup> of topsoil will be stockpiled for revegetation, and 3,000m<sup>3</sup> of rock will be removed for a total of 15,000m<sup>3</sup> over five stages.

### **1.7. Timeline for Extraction Activities**

The proposed extraction plan involves excavating, removal and rehabilitation of each stage to take one year. It is therefore anticipated that the total 5 stages within be completed and fully rehabilitated within 4-5 years.

## 2. Planning Response

### 2.1. Clause 52.09-4 Decision guidelines

Before deciding on an application to use and develop land for extractive industry, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

Decision Guideline	Applicants Response
The effect of the proposed extractive industry on any native flora and fauna on and near the land.	<i>The land has been intensively used for agriculture for many decades and the impact of the proposed use on flora and fauna is therefore considered to be low.</i>
The impact of the proposed extractive industry on sites of cultural and historic significance, including any effects on Aboriginal places.	<i>The subject works area is outside of designated cultural heritage setbacks and therefore the impact is considered to be low.</i>
The effect of the proposed extractive industry on the natural and cultural landscape of the surrounding land and the locality generally.	<i>The proposed disturbed areas are intended to be no more than 1Ha in size at any one time and progressively rehabilitated. The impact on the landscape is therefore considered to be minimal.</i>
The ability of the proposed extractive industry to contain any emissions within the boundaries of the land in accordance with relevant legislation.	<i>The emissions are expected to be very low and can wholly be contained within the subject land.</i>
The effect of vehicular traffic, noise, blasting, dust and vibration on the amenity of the surrounding area.	<i>There will be no blasting, extraction will be via excavation. Dust will be controlled via water truck in dry conditions. Traffic movements are expected to be minimal with no more than 14 (7 trucks per day) vehicle movements per day at the highest. The annual volume of material to be extracted would result in an overall average of 6 trucks per week over a 52 week year.</i>
The ability to rehabilitate the affected land to a form or for a use which is compatible with the natural systems or visual appearance of the surrounding area.	<i>The topsoil will be stripped and stockpiled during each stage and respread and seeded at the completion of each stage. The landscape will thus be returned to its pre-extraction state following the proposed activities.</i>
The ability to rehabilitate the land so it can be used for a purpose or purposes beneficial to the community.	<i>The extraction activity is low impact, and topsoil will be retained and respread following rock removal. The agricultural carrying capacity will be improved following the proposal.</i>
The effect of the proposed extractive industry on groundwater quality and the impact on any affected water uses.	<i>The extraction works are shallow and setback from nearby waterways and drainage lines such that the impact on groundwater quality will be negligible.</i>
The impact of the proposed extractive industry on surface drainage and surface water quality.	<i>The proposal is to be conducted in stages limiting open areas of ground disturbance. Small sedimentation ponds will be constructed at the low points of each stage to retain and filter runoff during rain events.</i>
Any proposed provisions, conditions or requirements in a work plan that has received statutory endorsement under the Mineral Resources (Sustainable Development) Act 1990.	<i>Not applicable.</i>

Table 1 – Response to Clause 52.09-4

## 2.2. The Appropriateness of the Planned Use

The Proposed Use is supported by the relevant objectives and requirements of the Municipal Planning Strategy, the Planning Policy Framework and the FZ for the following reasons:

- The Proposed Use will have no impact on the landscape or biodiversity values of the land, as it only affects land that has already been cleared and under active agriculture use. Any visual impacts are temporary while rock removal is occurring, with the land immediately rehabilitated and returned to agricultural production, consistent with clauses 12.01-1S and 12.01-01L (Protection of biodiversity).
- The Subject Land does not form part of an identified significant landscape, and the Proposed Use requires no additional buildings or infrastructure (utilising existing access tracks) which will ensure it has no impact on the scenic value of the wider landholding and will be consistent with the 'biodiversity' and 'landscapes' strategic directions at Clause 02.03-2 (Environment and landscape values) and clause 12.05-2L (Significant landscapes, ridgelines and alpine approaches).
- The sale of rock removed from land supports the ongoing Pasture Improvement Works, resulting in the removal of waste rock stockpiles, and delivering demonstrable long term benefits for the productive capacity of the land and on this basis will be consistent with the 'agriculture' strategic directions at Clause 02.03-4 (Natural resource management) and Clause 02.03-7 (Economic development) and clauses 14.01-1S (Protection of agricultural land) and Clause 14.01-2S (Sustainable agricultural land use)
- The Proposed Use will not cause any unreasonable amenity impacts and is consistent with Clause 13.05-1S (Noise management) as the noise created during the activities will be set back significantly from any nearby sensitive receptors (nearest being 1.1 km away) and will be consistent with the amenity expectations for agricultural land located in the FZ.
- The Proposed Use complements and supports the Agriculture Use and will contribute to the diversified economy of Mansfield as well as providing a secondary income stream and will be consistent with Clause 17.01-1S (Diversified economy) and Clause 17.01-1R (Diversified economy – Hume).
- The Proposed Use is consistent with the purposes of the FZ which seek to provide for the use of land for agriculture and to retain productive agricultural land, while encouraging the retention of employment and population to support rural communities. The proportion of the Subject Land that will be used for the Proposed Use is small, with Allotment 2 having an area of approximately 80 ha with 5 ha of this site to be used for the Proposed Use (and 1.0 ha at any one time), while the overall land is approximately 1,000 acres. The Proposed Use will have an almost imperceptible impact on the ability of the wider landholding to be used for agricultural purposes. This is particularly so as the use itself is transitory, moving with the Pasture Improvement Works.

## 2.3. Clause 52.09-6 Requirements for extractive industry

The use and development of land for extractive industry must comply with the following requirements, to the satisfaction of the responsible authority:

Decision Guideline	Applicants Response
Except in accordance with a permit, no alteration may be made to the natural condition or topography of the land within 20 metres of the boundary of land. This does not apply to driveways, drains, bund walls or landscaping.	<i>The subject works area is well in excess of 20 metres from the title boundaries.</i>
Shrubs and trees must be planted and maintained to screen activity on the land.	<i>Due to the short timeframe involved for the proposed extraction and rehabilitation, it is</i>

	<i>submitted that any screening vegetation would not become established in time to provide a screen. Notwithstanding this, the site will be rehabilitated and returned to pasture, providing a landscape identical to that prior to extraction.</i>
Parking areas must be provided for employees' cars and all vehicles used on the land.	<i>There is adequate space for car parking, and this is shown on the appended plans.</i>

#### 2.4. Significant Landscape Overlay – Schedule 1

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

<b>Decision Guideline</b>	<b>Applicants Response</b>
The impact of the proposed buildings and works on the landscape including effect on landscape within and outside the land (due to siting, design, size, and colour and texture of external construction materials), flora and fauna, landform, heritage values, and views to the land from roads, other public viewpoints and private land.	<i>The small area of disturbance proposed for each stage limits the overall visual impact on neighbouring properties. The location is in a sparsely populated area with no significant tourism related activities that would otherwise be impacted.</i>
The impact of buildings and works on views to the land from any road, public viewpoints and private land.	<i>As per above, the location is in a sparsely populated area with no significant tourism related activities that would otherwise be impacted.</i>
Effluent disposal systems and measures to improve water quality.	<i>The effluent will be generated on site and Section 8.0 of this plan outlines measures to maintain water quality.</i>

Table 2 – SLO Schedule 1

#### 2.5. Environmental Significance Overlay – Schedule 2

The key statement in the ESO, Schedule 2 that relates to the proposed works is as follows:

*“Environmental objective to be achieved:  
To discourage development and works that contribute to the degradation of water quality and quantity.”*

In response to the above, Section 8.0 of the operation plan outlines measures that will be put in place to protect water quality during the proposed works.

### 3. Geology & Geotechnical

#### 3.1. Geotechnical Considerations

The site has only been subjected to shallow excavation and thus there is limited data relating to the geotechnical properties of the host rock. No formal test drilling or geotechnical assessments have been undertaken to date.



*Figure 3 – Typical Mudstone Rocks to be removed*

The type of material to be extracted will be mudstone hard rock in weathered subsurface blocks, which will be stockpiled onsite and sold for garden landscaping purposes. There will be no blasting. Based on excavation to date the depth profile of the work area is expected to consist of the following:

Topsoil	-	0.0m to 0.2m
Mudstone Rock “Floaters”	-	0.2m to 3.0m

The removal of rocks which are outcropping, will enable the upgrading and improvement of the arable pasture. It is not intended to excavate deeper than 2.0m below existing ground level for practical and economic reasons.

## 4. Operation Plan Area

### 4.1. Title Details

The existing worksite area lies within 80Ha of privately held land owned by Aspire to Inspire Pty Ltd ATFT Aspire to Inspire Holdings Trust (ABN 98 593 863 872) of 30 Claremont Street South Yarra VIC 3141. The address is 131 Terry Road Barwite 3722, with the lot/plan number being Lot 2 PS824836Y. The Council Property Number is A5117 (Part).

The worksite area is to be no greater than 5.00 ha, which consists of five (5) separate stages.

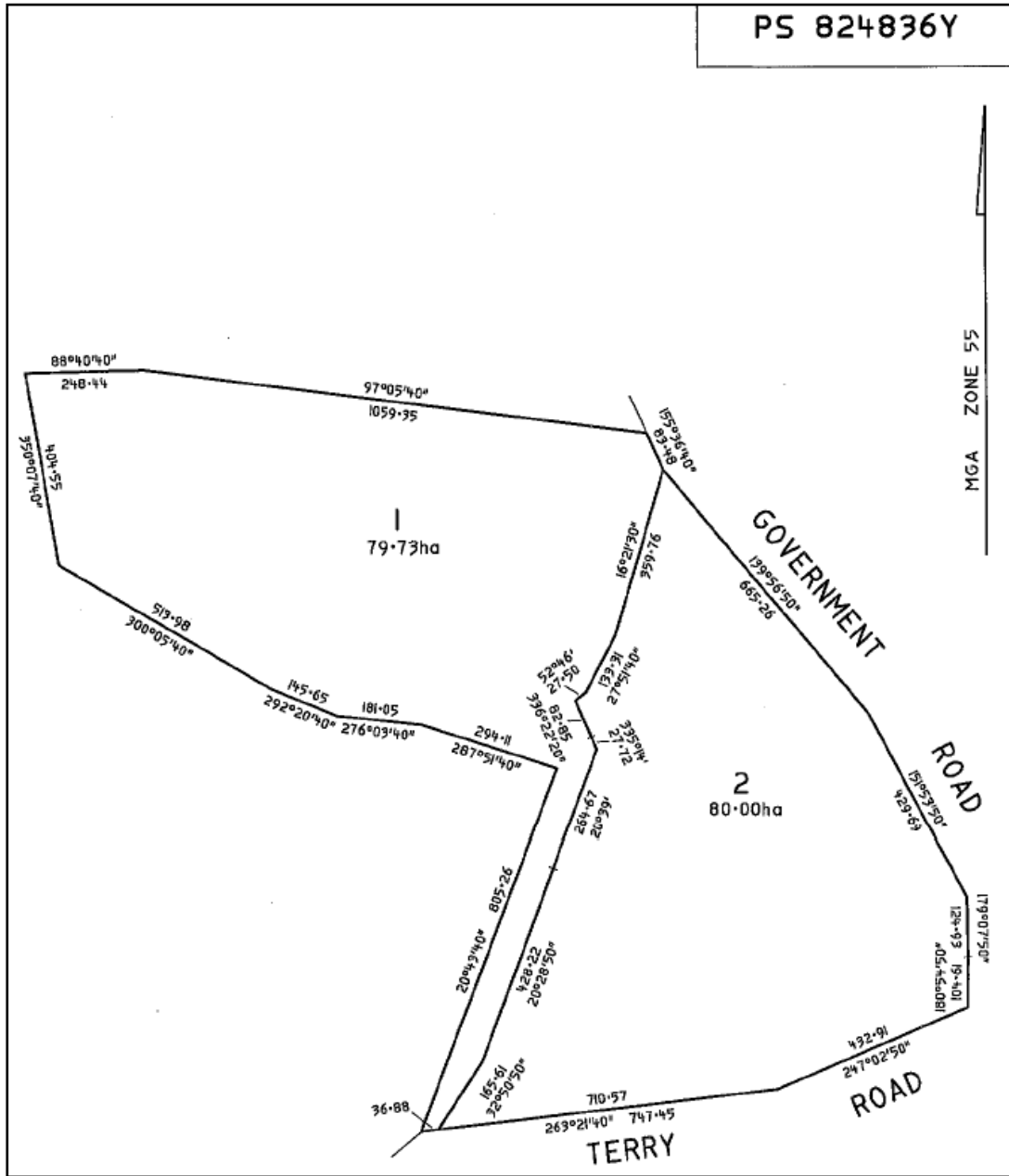


Figure 4 – Title Layout

#### 4.2. Fencing & Site Security

The existing property is surrounded by post and wire fencing, which is regularly maintained due to the constant grazing of livestock.

The only entry point to the site is via Terry Road and a locked gate. Signage detailing the nature of quarrying operations and restricted access will be placed on the gate entry point.

#### 4.3. Access Roads

The existing access road into the worksite area from Terry Road shall remain in place, be upgraded to suit all weather conditions, and be used to access the works area.

#### 4.4. Native Vegetation

The area within the works area boundaries consists of a mixture of native and exotic grasses which has been grazed for many years. The surrounding landscape is similarly grassed pasture and used for grazing. No vegetation is to be removed.

#### 4.5. Buffer Zones

Noise and dust do not present a problem to the amenity of the surrounding area – there is sufficient unoccupied rural land between the worksite and the property boundaries

#### 4.6. Sensitive Receptors

The works area is located a significant distance away from nearby dwellings with the nearest dwellings being 1340m to the South and 1061m to the southeast of the extraction limits. There will be no blasting on site and because of the loamy nature of the excavation, no dust generation is expected.



Figure 5 – Plan showing neighbouring dwellings

## 5. Plant & Equipment

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### 5.1. Fixed and Mobile Plant

Due to the restricted usage of the facility in terms of seasonal operation and weather in determining rock extraction, there is no requirement for any permanent plant infrastructure on site.

Mobile plant to be used intermittently will include;

<b>Hydraulic Excavator</b>	For rock excavation and sorting
<b>Loader</b>	For loading of rock onto trucks
<b>Trucks and Trailers</b>	For transport of rock offsite
<b>Water Truck</b>	For dust suppression along access tracks and process areas.

During periods of excavation, plant and equipment will be located and stored on each stage works area where there is sufficient space for these operations to occur. There is adequate area for trucks to turn around and load within the worksite.

### 5.2. Power Supply/Fuel Storage

All fuel for excavators, rock drills, loaders etc is transported to site on towable trailers. Due to the lack of permanent plant on site, there will be no need for a permanent power supply.

Whilst fuel and hazardous materials are being used on site, they will be located on each stage works area.

### 5.3. Ancillary Buildings

Due to the seasonal nature of operations, there will be no need for any long term or permanent workshops, offices, or laboratories on site.

### 5.4. Truck Movements

All trucks will use the existing access track to enter and exit the site via Terry Road. It is expected that production will not exceed 3,000m<sup>3</sup> or 300 x 10m<sup>3</sup> trucks per year.

Truck movements are expected to be a maximum of 4 per day (2 trucks per day in/out) in all seasons with the majority of movements completed by midday. Loading will take place at each stage works area.

### 5.5. Car Parking

Car parking requirements are expected to be low with no more than 2 light vehicles on site at any one time. The proposed parking location is within each stage works area.

## 6. Water

### 6.1. Ground Water Depth and Nearby Waterways

As can be seen from the locality plans, the site is situated adjacent to marked waterways, which lie to the east and south of the works area. A minimum setback of 30m from these waterway will be maintained for all proposed workings.

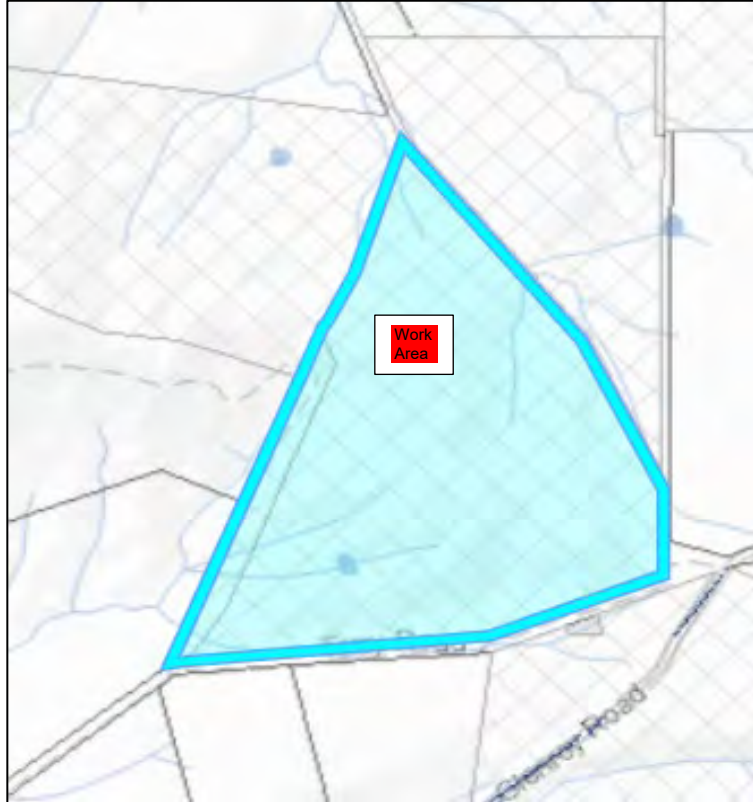


Figure 11 – Waterways

### 6.2. Usage, Storage and Treatment

Limited amounts of imported water will be used for dust suppression on occasion along access tracks.

There will be no need for the storage of water on site. Section 8.0 outlines the proposed treatment of runoff water emanating from excavations associated with the operation.

### 6.3. Discharges and Drainage

There is no expected water discharge or water runoff beyond the work area. Section 8.0 details the specific treatment measures which shall be applied to water runoff.

## 7. Method of Working

### 7.1. Staging of Works

The proposal refers to the excavation of rock in five (5) stages which forms part of the proposed Operation Plan.

The proposed staging sequence is shown on the appended operations plan. It is proposed that each stage will consist of an area of one hectare with approximate dimensions of 100m x 100m. Extraction will advance in a northerly direction from the Stage 1 location.

### 7.2. Topsoil & Overburden

#### 7.2.1. Topsoil

All stripped topsoil will be stockpiled on site during each stage for ultimate use as rehabilitation of worked out areas as development takes place. The topsoil associated with the local area is typically no deeper than 200mm. The following dimensions and volumes have been calculated for the topsoil stripping and stockpiling:

Area of disturbance for each stage works area:	0.7-1.3 Ha
Estimated depth of topsoil:	200 mm
Estimated volume of topsoil to stockpile:	2,000 m <sup>3</sup>
Dimensions of topsoil stockpile:	2 No. 4m high x 50m long x 10m wide

The proposed stockpile area is as shown on the appended plans and within an area clear of significant vegetation.

#### 7.2.2. Overburden

No overburden is planned as part of the extraction works. Previous experience in the area has demonstrated that the mudstone rocks are embedded in a clayey loam from shallow depths and immediately below the topsoil. This overburden will be stockpiled along with the topsoil, for rehabilitation works.

#### 7.2.3. Stockpile Sediment Control

Sediment will be captured by earthen cut-off drains to be located down slope of the temporary stockpiles and direct runoff towards to silt dam(s).

### 7.3. Extraction Method

The rock that constitutes the economic resource is found in sporadic patches and varies in degrees of consistency and fracture such that it is difficult to anticipate the volume that will be "winnable" within each 100m x 100m x 5m deep Stage. Experience to date has shown that approximately 3,000m<sup>3</sup>, or 300 trucks is realistically able to be extracted from a one-hectare paddock or Stage.

Material will be extracted using a hydraulic excavator for removal of rocks generally from a level below the excavator. Rocks will then be moved to stockpiles for loading onto road trucks by excavator and/or front-end loader, depending on size.

The maximum area worked at any one time will be determined by the requirements of the day but due to the limited tonnages historically removed the area is not envisaged to be large.

Due to practical reasons, it is anticipated that no excavations will be deeper than 2.0m below existing ground level

### 7.4. Hours of Operation and Personnel

When operations are required, they shall take place between the hours of 7.00 am to 4.00 pm, Monday to Friday. No work will be undertaken on weekends or public holidays.

Maximum staff/operators onsite at any given time would be three (3) – four (4) persons, being excavator operator, loader operator, truck driver/s and supervisor.

It is anticipated that a maximum of 4 truck movements per day (2 trucks per day in/out) will enter and leave the site, with this quantity reducing significantly towards mid-winter. On average 5 trucks per week would be expected throughout a 52 week year to achieve the proposed 3,000m<sup>3</sup> per stage.

#### **7.5. Dewatering**

Dewatering has never been an issue at the site and is not expected to become one in the future, given that the workings proposed are above creek/waterway levels.

#### **7.6. Dangerous Goods**

No dangerous goods will be stored or used on site.

## 8. Environmental Management Program

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### 8.1. Background & Key Issues

The existing development is located well within the property and is completely secluded from public access. The land has been used for grazing.

### 8.2. Topsoil Management

As the stripping of work areas takes place all removed topsoil will be stockpiled within the proposed stage boundary. Stockpiles shall not exceed 2.0m in height. Subsoils below 200mm surface level, where applicable, shall be separated and stored separately to topsoils.

Once an area has been worked out, the stockpiled topsoil will be used to fill any depressions to surrounding levels, and will be spread, graded and profiled in accordance with the specifications shown in the rehabilitation plan.

### 8.3. Protection of Native Vegetation, Flora and Fauna

The increased activity within the area associated with the excavation will not result in any adverse impacts on native vegetation. No trees or significant vegetation will be removed as part of the works. There will be a 30m. buffer zone maintained around any native trees.

Specific alterations have been made to the development plans to accommodate DEECA requirements to retain an existing dead tree.

Native fauna will for the most part be prevented from entering the work area due to the existence of stock proof fence lines around the paddock. Fauna inhabiting the work area are at a low risk from operations such as loading trucks and hauling rock. No excessively deep excavations are anticipated, reducing the risk of injury to wildlife significantly.

### 8.4. Weed Control

Weed suppression will be performed concurrently with operations.

The operator will establish a specific program of monitoring and eradication of noxious weeds. Eradication and mitigation procedures will be in accordance with current programs employed in the farm management.

Monitoring of weeds in the work area will be carried out throughout the life of the excavation. After cessation of operations and rehabilitation of the work areas, the entire work area will be reseeded and returned to pasture for grazing.

### 8.5. Management of Waterways & Groundwater

As mentioned previously, the worksite is situated well within the property with several ephemeral waterways located to the south and west of the work areas. The impact on the existing waterways from operations is considered to be nil, with all runoff being restricted to the works area and proposed silt dams.

It is proposed that all surface water from workings will be handled as follows:

- All runoff from each work site is designed to drain towards the lower elevations, where a silt dam will be constructed to contain excess flows and allow settlement of sediments carried by runoff.
- The silt dam will ensure that sediment is not carried via rainfall runoff into surrounding pasture and waterways.
- Any overflow from the silt dams will be directed to the existing stock dam for stock watering.

The requirements of the Catchment Management Authority, Goulburn Murray Water are specifically noted in regard to management of waterways and groundwater as follows :

- Sediment control principles must be used to ensure sediment cannot be transported off-site particularly during rainfall events.
- Goulburn Murray Water must be notified as soon as possible of

any potential water quality impacts identified in relation to this proposal.

- Should groundwater be intercepted, or if dewatering may be required, the applicant must contact Goulburn Murray Water to discuss.
- Should water be harvested for use from any surface waters, application for a Licence to Take and Use Water must be obtained from Goulburn Murray Water. The take of water at this site must be managed through an appropriate entitlement regime.

#### **8.6. Receptor Impacts – Noise, Dust, and Ground Vibrations**

The worksite is relatively remote from neighbouring dwellings, and its location is well within the property which forms a natural attenuating barrier. All haulage vehicles and associated plant will be required to comply with road traffic noise standards.

With respect to dust, dust generated by traffic on haul roads will be controlled with a water truck spraying on an as-needs basis.

#### **8.7. Waste Management & Minimisation**

The work area will remain clean and tidy at all times. It is expected that only minimum amounts of waste will be generated on site from extraction activities.

Oil and other fuel spills will be cleaned and removed from site immediately and disposed of at an appropriate waste disposal facility.

## 9. Rehabilitation Proposal

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### 9.1. End Use Objectives – Post Closure Work Site Landform and Use

The excavation work area is located on agricultural land and is currently being grazed.

It is considered that the land be returned to agricultural use at the cessation of quarrying activities.

The proposed plan includes rehabilitating previously disturbed areas of land inside of the 5 Ha extraction area.

### 9.2. Progressive Rehabilitation

The proposed work site is considered small - progressive rehabilitation only has limited application and shall be carried out as the quarry advances. It will consist of re-profiling the excavation with stockpiled overburden and topsoil, followed by re-seeding to pasture. Each stage will be rehabilitated on completion of excavation before the next stage commences.

#### 9.2.1. Re-profiling

Stockpiled topsoil will be spread and levelled back to pre-excavation profile and contours using a grader.

#### 9.2.2. Re-seeding

The post-excavation land use is to be a return to grazing, and as such the re-profiled land will be covered with rye-grass hay and the seeds within the hay will be allowed to germinate through natural actions and re-grass the disturbed areas. Uptake shall be monitored weekly, and watering shall occur if required.

#### 9.2.3. De-commissioning of silt dams

Following confirmation that a minimum grass cover of 60% has been established following re-seeding, the remaining silt dams will be decommissioning as follows

- Removal of water contained in the dam;
- Allow dam base to dry out;
- Re-profile silt dam wall material and cover with topsoil;
- Re-seed as per 9.2.2 above.

### 9.3. Removal of Plant and Equipment

There is minimal equipment to be removed from the site. No permanent plant is currently located on site. The equipment will be removed following rehabilitation works.

### 9.4. Maintenance and Monitoring

The site, in its present form, is considered safe.

Monitoring of seed germination shall be carried out weekly following the re-seeding of each stage. Where germination isn't successful, further re-seeding shall be carried out as per 9.2.2 above.

With respect to access to the site in general, the existing stock proof boundary fence lines are considered to be adequate to limit public access.

## Appendix A – Development Design Plans

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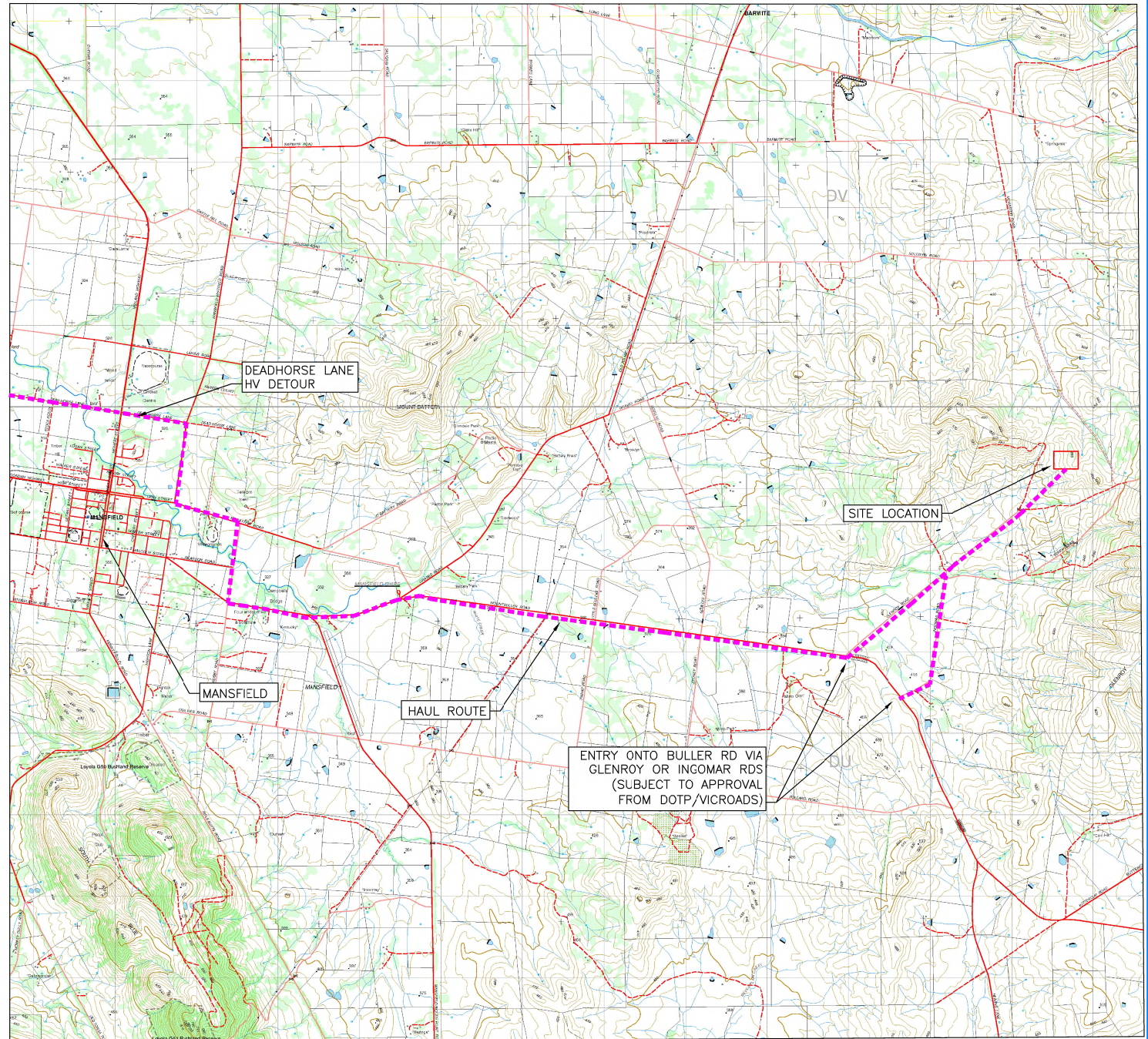
## PROPOSED STONE REMOVAL OPERATION PLAN

TERRY ROAD  
BARWHITE VIC

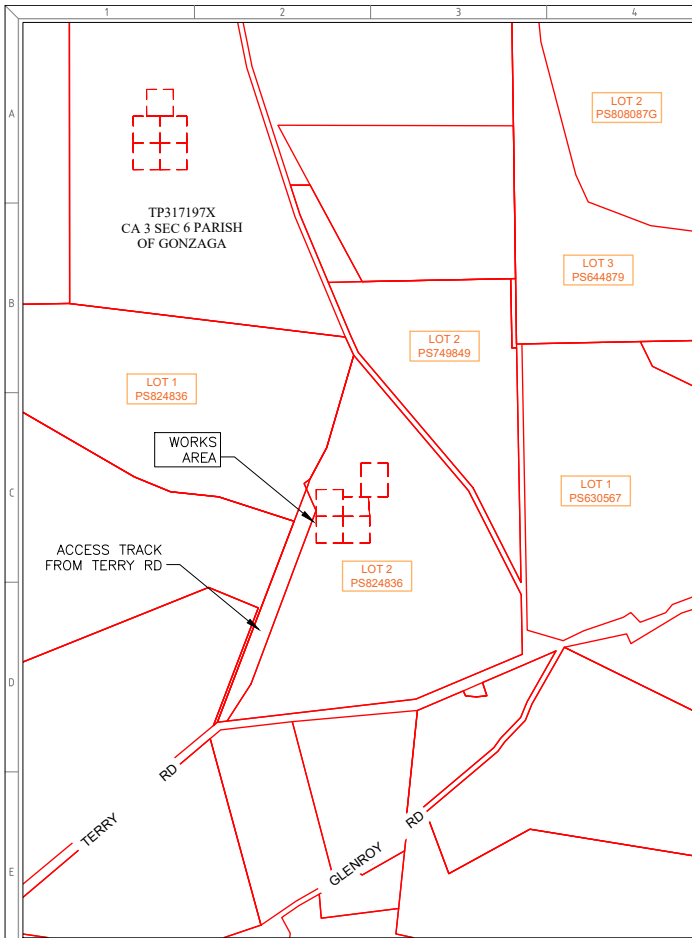
Client:	ARVANTIS
Job:	PROPOSED STONE REMOVAL
Job No:	ARVA01
Drawing No:	ARVA01-100
Revision:	D
Date:	4th June 2025

### Drawing Index

- 100: LOCALITY PLAN AND AERIAL
- 101: STAGE PROPOSAL
- 102: SECTION A & TYPICAL STAGE LAYOUT
- 103: LOCALITY PLAN WITH RECEPTORS



PRELIMINARY ISSUE  
NOT TO BE USED FOR CONSTRUCTION

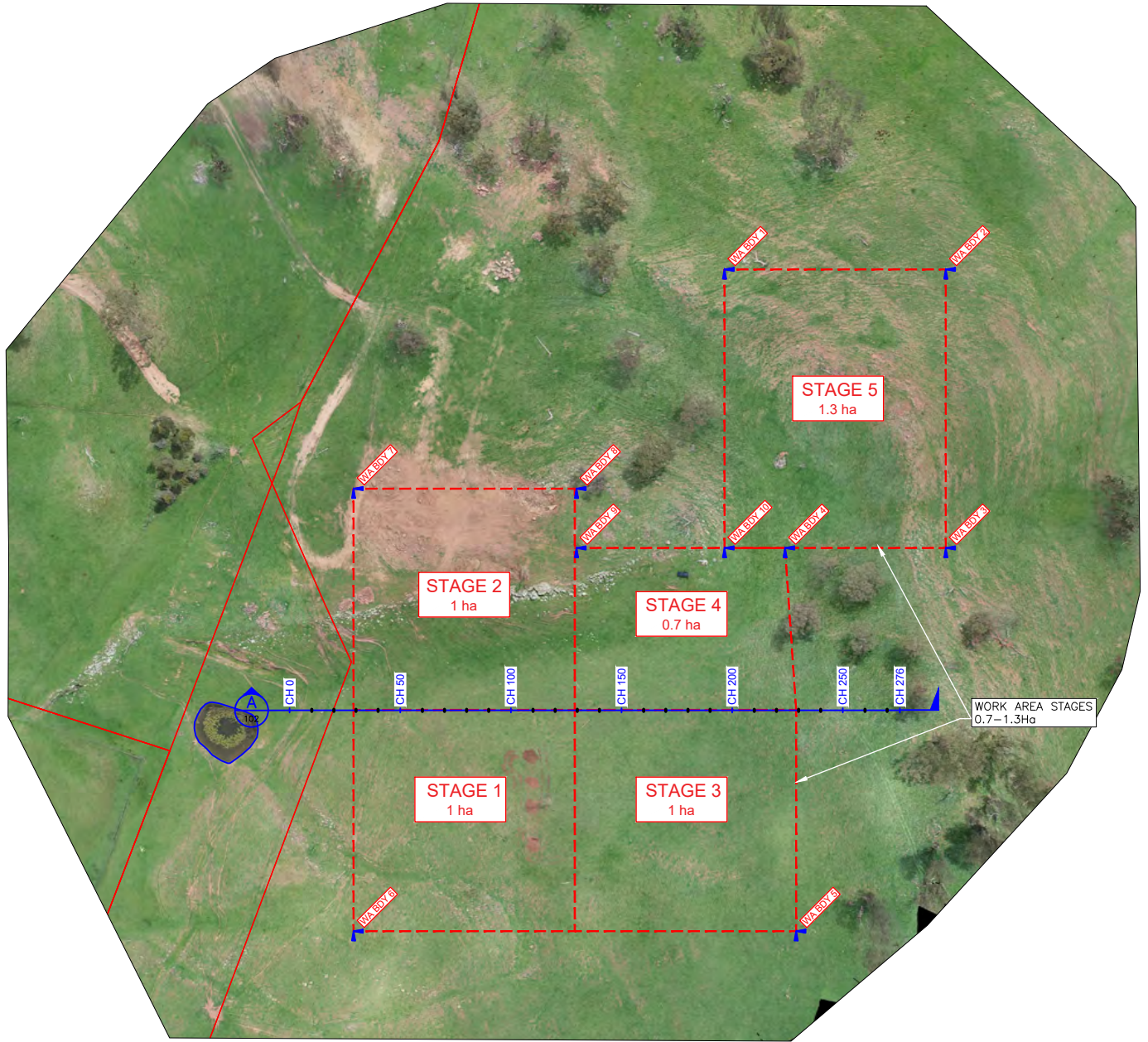


**SITE PLAN – LOCATION OF EXTRACTION AREA WITHIN TITLE**

SCALE 1:10000

**WA BOUNDARY COORDINATES : GDA94-Z55**

Point #	Raw Description	Elevation	Northing	Easting
1374	WA BDY 6	555.000	5899434.5494	430461.9238
1375	WA BDY 5	555.000	5899434.5494	430661.9238
1376	WA BDY 4	558.000	5899607.7219	430656.9046
1377	WA BDY 3	558.000	5899607.7219	430729.5416
1378	WA BDY 2	561.000	5899733.6115	430729.5416
1379	WA BDY 1	561.000	5899733.6115	430629.5416
1380	WA BDY 10	558.000	5899607.7219	430629.5416
1373	WA BDY 7	555.000	5899634.5494	430461.9238
1381	WA BDY 9	558.000	5899607.7219	430562.6536
1382	WA BDY 8	558.000	5899634.5494	430562.6536



**PRELIMINARY ISSUE**  
NOT TO BE USED FOR CONSTRUCTION

REVISIONS		
REV	DETAILS	DATE
A	ISSUED FOR REVIEW	25/11/24
B	UPDATED WA BOUNDARY COORDS	11/02/25
C	AMENDED TO ERR COMMENTS	20/02/25
D	AMENDED TO SITE MEETING COMMENTS	14/04/25



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ABN: 71 129 818 166

DESIGNED	NSM	04/25
DRAWN	NSM	04/25
CHECKED	-	04/25
APPROVED		

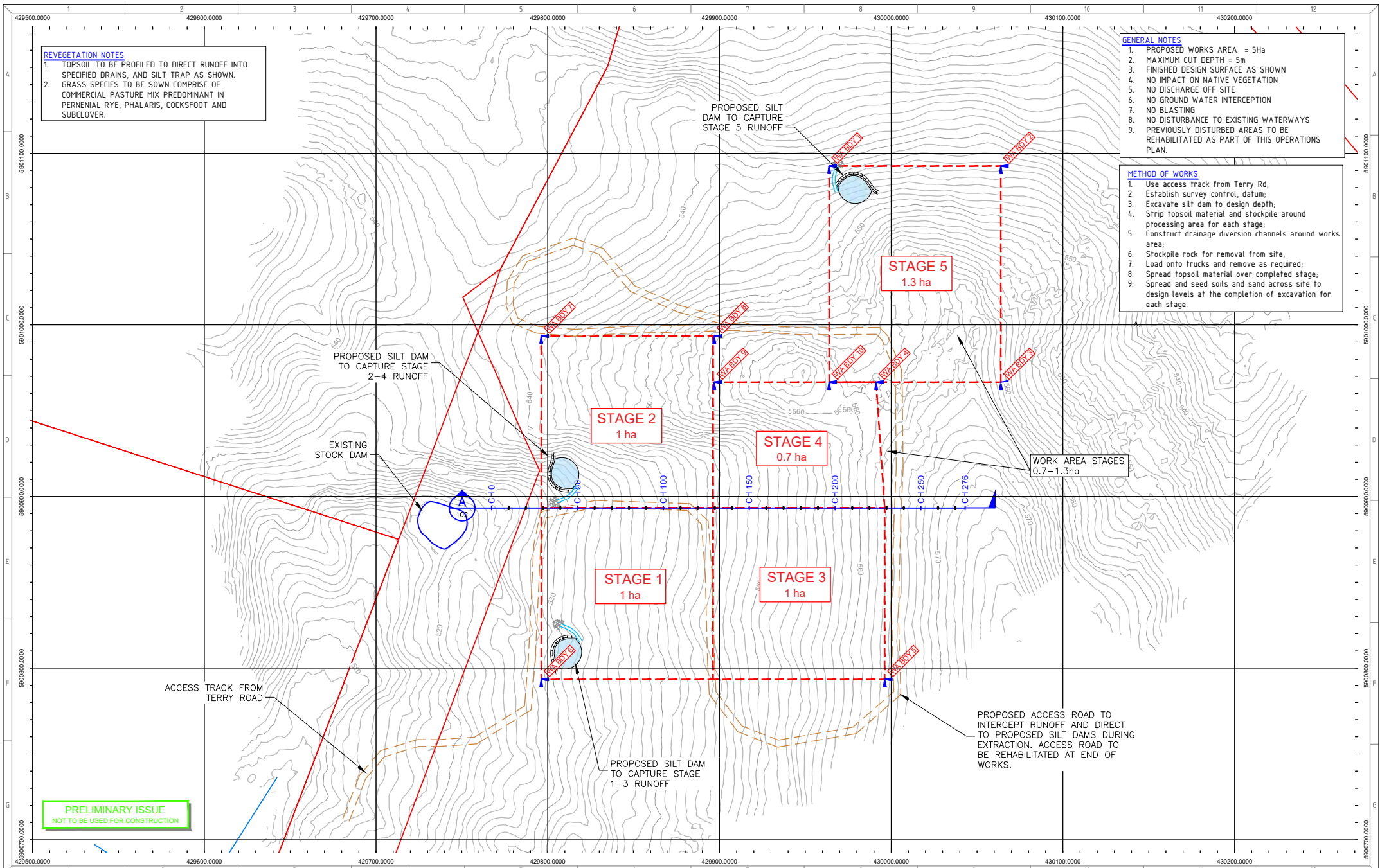


1:1000 (A1) 0 25 50m  
1:2000 (A3) SCALEBAR (m)

PROJECT NO  
**ARVA03**  
DRAWING NO  
**ARVA03-100**

DATUM AHD GRID GDA94

**ARVANITIS**  
TERRY ROAD, BARWHITE  
PROPOSED STONE REMOVAL  
PLAN VIEW WITH AERIAL



REVISIONS		
REV	DETAILS	DATE
A	ISSUED FOR REVIEW	25/11/24
B	AMENDED TO ERR COMMENTS	20/02/25
C	AMENDED TO SITE MEETING COMMENTS	14/04/25

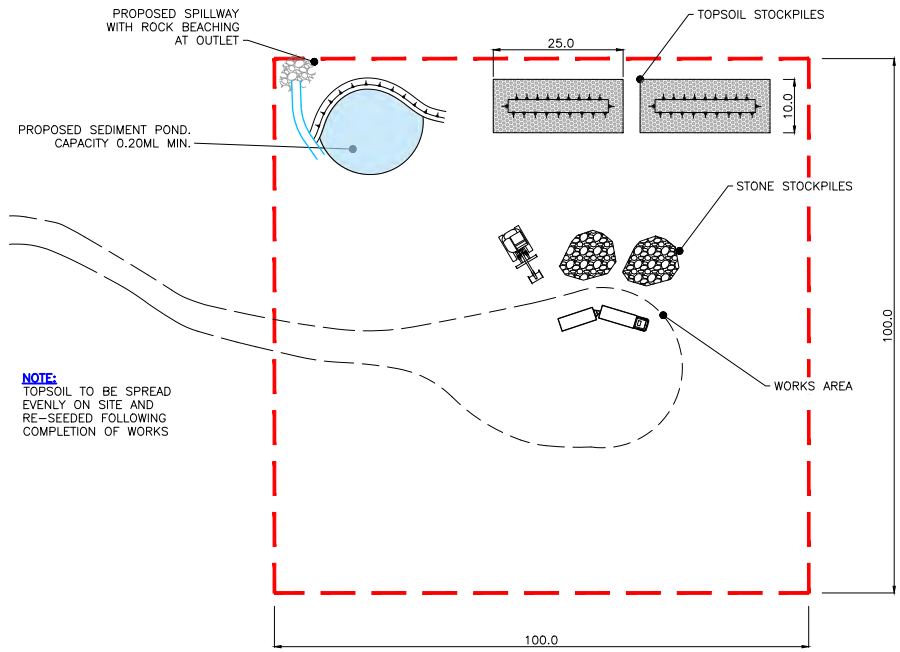


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DRAWN	NSM	04/25
CHECKED	-	04/25
APPROVED		
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1:2000 (A3)	SCALEBAR (m)	

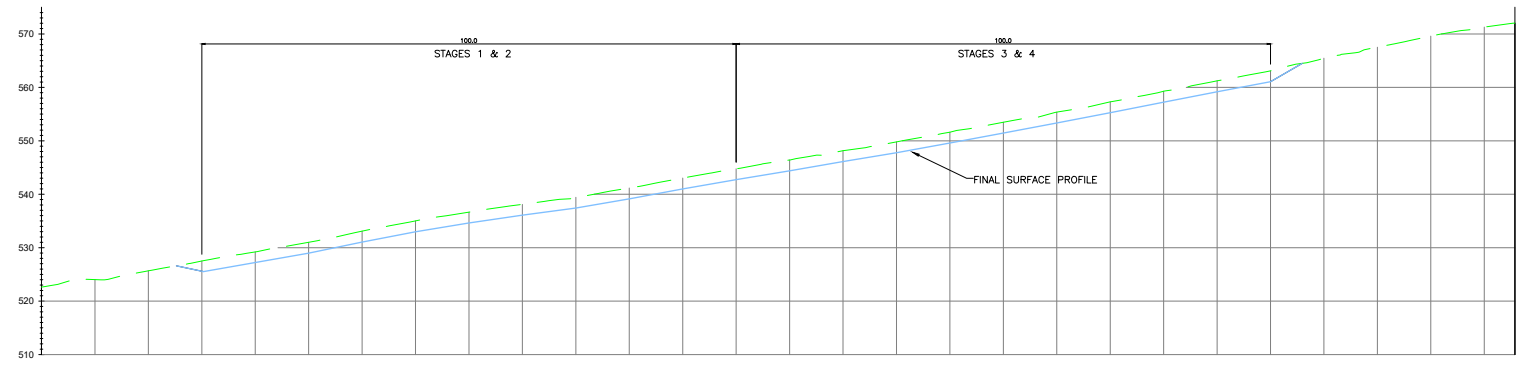
PROJECT NO	ARVA03
DRAWING NO	ARVA03-101
DATUM	AHD
GRID	GDA94

ARVANITIS	TERRY ROAD, BARWHITE	SHEET 1 OF 1	A1
PROPOSED STONE REMOVAL			
PLAN VIEW			

**PRELIMINARY ISSUE**  
NOT TO BE USED FOR CONSTRUCTION



**PLAN VIEW – TYPICAL STAGE WORKS AREA LAYOUT**  
SCALE 1:500



CHAINAGE	10.00	20.00	30.00	40.00	50.00	60.00	70.00	80.00	90.00	100.00	110.00	120.00	130.00	140.00	150.00	160.00	170.00	180.00	190.00	200.00	210.00	220.00	230.00	240.00	250.00	260.00	270.00	
EXISTING LEVELS	524.03	525.67	527.51	529.20	531.02	533.10	535.01	536.65	538.10	539.93	541.17	543.03	544.76	546.41	548.15	549.80	551.62	553.48	555.37	557.29	559.08	561.22	563.10	565.46	567.52	569.59	571.28	
DESIGN LEVELS			525.61	527.23	528.98	531.05	532.97	534.62	536.08	537.94	539.14	541.00	542.73	544.38	546.12	547.77	549.58	551.45	553.34	555.25	557.23	559.19	561.06	563.10	565.46	567.52	569.59	571.28
LEVEL DIFFERENCE			-1.90	-1.97	-2.03	-2.04	-2.04	-2.03	-2.02	-2.01	-2.03	-2.03	-2.03	-2.03	-2.03	-2.03	-2.04	-2.03	-2.04	-2.03	-2.04	-2.03	-2.03	-2.03	-2.03	-2.03	-2.03	-2.03

**A SECTION**  
SCALE 1:500

REVISIONS		
REV	DETAILS	DATE
A	ISSUED FOR REVIEW	25/11/24
B	AMENDED TO ERR COMMENTS	20/02/25

Mining & Civil Engineering  
6619 Great Alpine Road Porepunkah VIC 3740  
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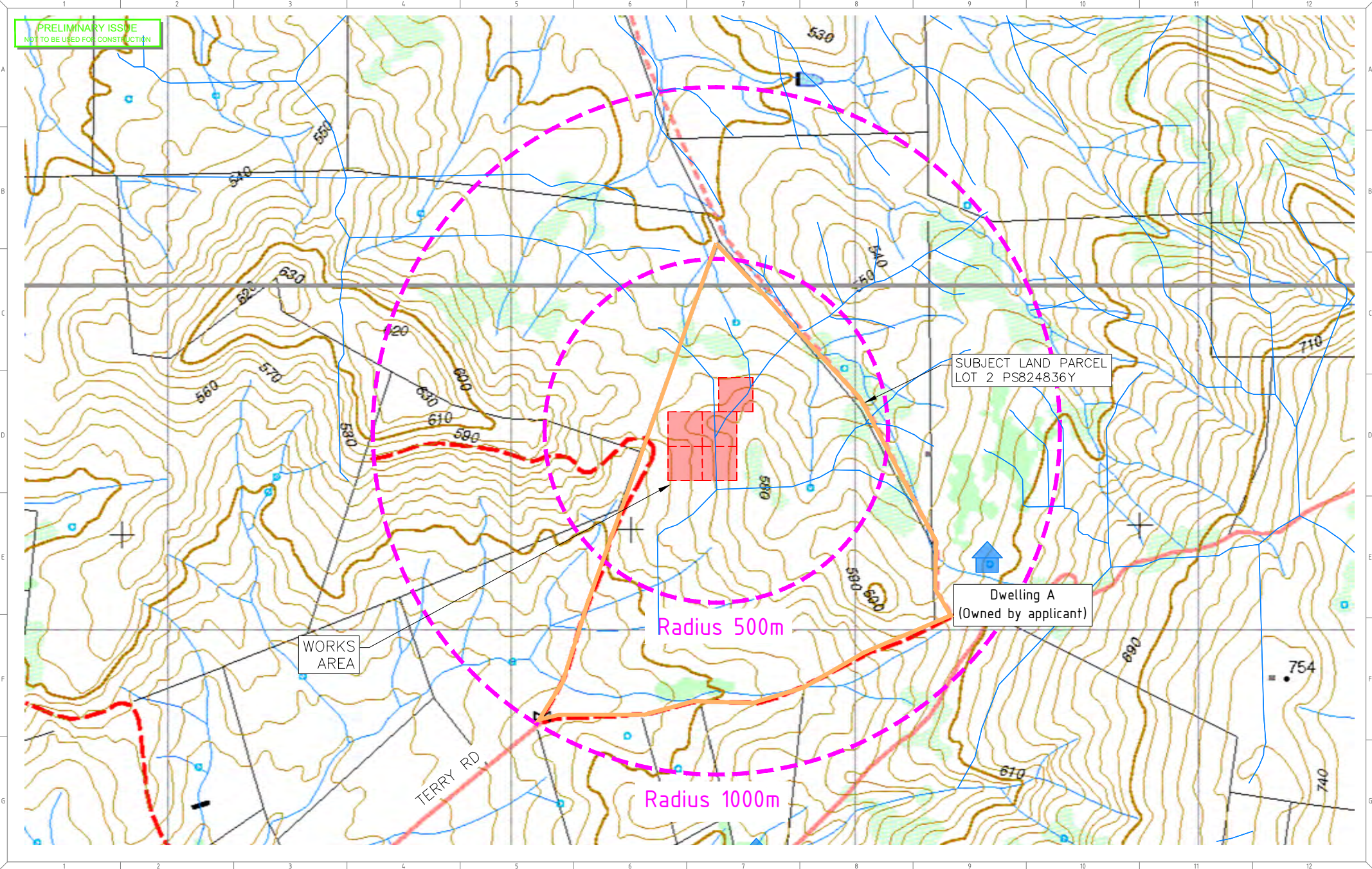
Ph: 0425 701 471  
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ABN: 71 129 818 166

DESIGNED	NSM	04/25
DRAWN	NSM	04/25
CHECKED	-	04/25
APPROVED		

PROJECT NO	ARVA03
DRAWING NO	ARVA03-102
DATUM	AHD
GRID	GDA94

**ARVANITIS**  
TERRY ROAD, BARWHITE  
PROPOSED STONE REMOVAL  
DETAIL & LONG SECTION

PRELIMINARY ISSUE  
NOT TO BE USED FOR CONSTRUCTION



REVISIONS		
REV	DETAILS	DATE
A	ISSUED FOR REVIEW	25/11/24
B	AMENDED TO ERR COMMENTS	20/02/25

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malkinconsulting.com.au  
ABN: 71 129 818 166

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DRAWN	NSM	04/25
CHECKED	-	04/25
APPROVED		

1:5000 (A1)  
1:10000 (A3)

SCALEBAR (m)

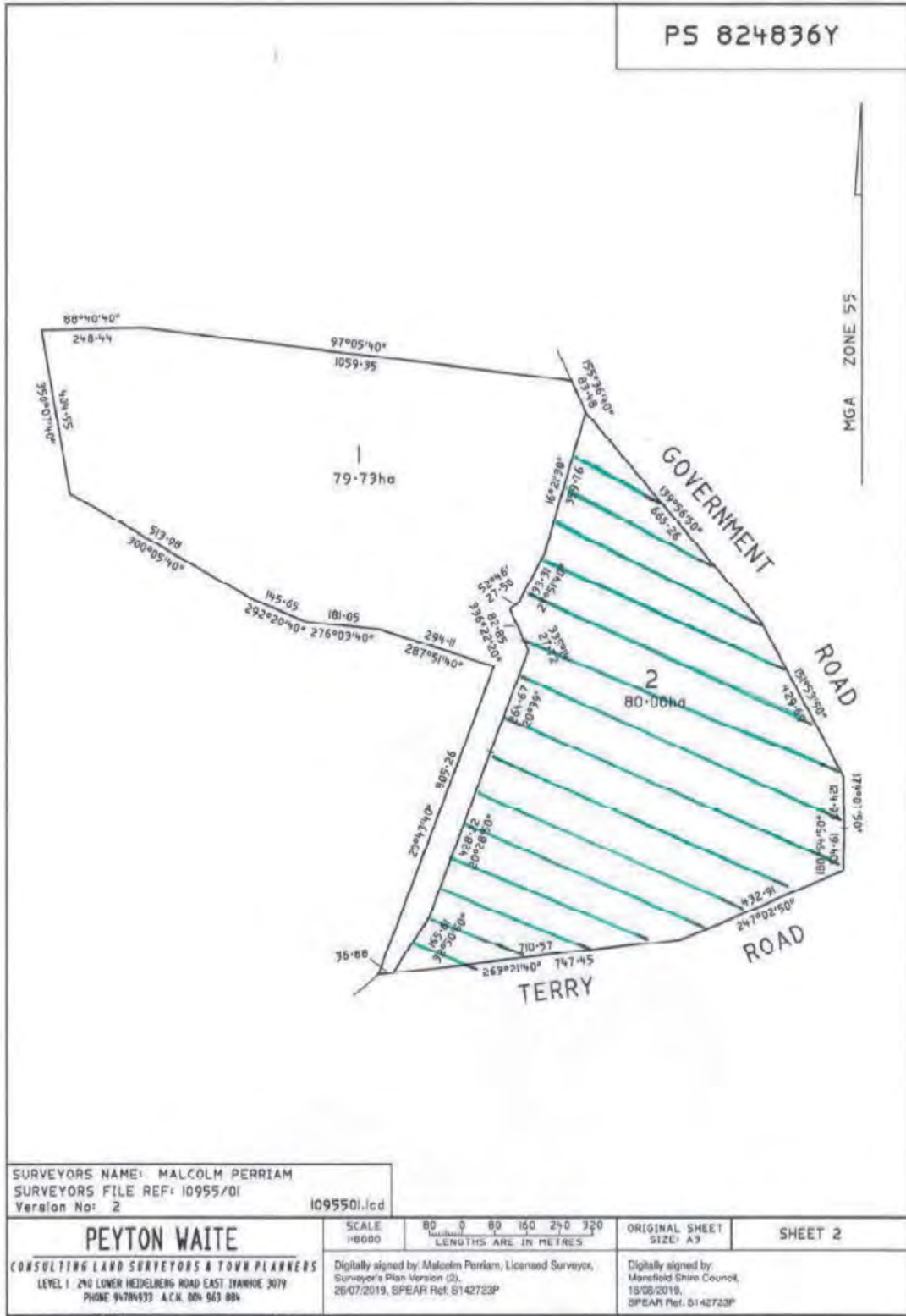
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DATUM	AHD
GRID	GDA94

**ARVANITIS**  
TERRY ROAD, BARWHITE  
PROPOSED STONE REMOVAL  
LOCALITY PLAN

SHEET 1 OF 1 A1

## Appendix B – Title Plan


PLAN OF SUBDIVISION		EDITION 1	PS 824836Y	
<b>Location of Land</b> Parish: GONZAGA Section: 6 Crown Allotment: 4 & 5 (PART) Parish: BEOLITE Crown Allotment: 64 & 65 (PART) Title Reference: V8461 F772 V4882 F264  Last Plan Reference: TP 519581V TP334429G Postal Address: TERRY ROAD (at time of subdivision) MANSFIELD 3722  MGA Co-ordinates: E: 430665 Zone: 55 (of approx centre of land N: 5899395 MGA94 in plan)		Council Name: Mansfield Shire Council Council Reference Number: S142723P/19 Planning Permit Reference: Planning permit not required SPEAR Reference Number: S142723P  <b>Certification</b> This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 19/07/2019  Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied  Digitally signed by: Leanna Joy Curphey for Mansfield Shire Council on 16/08/2019  Statement of Compliance issued: 12/09/2019		
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>		
<b>Identifier</b>	<b>Council/Body/Person</b>			
NII	NII			
<b>NOTATIONS</b>				
Depth Limitation: Does not apply				
<b>SURVEY:</b> This plan is based on survey. For extent of survey see Abstract of Field Records <b>STAGING:</b> This is not a staged subdivision.				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
<b>Easement Reference</b>	<b>Purpose</b>	<b>Width (Metres)</b>	<b>Origin</b>	<b>Land Benefited/In Favour Of</b>
SURVEYORS NAME: MALCOLM PERRIAM		SURVEYORS FILE REF: 10955/01		
Version No: 2		1095501.lcd		
<b>PEYTON WAITE</b>				ORIGINAL SHEET SIZE: A3
CONSULTING LAND SURVEYORS & TOWN PLANNERS		Digitally signed by: Malcolm Perriam, Licensed Surveyor, Surveyor's Plan Version (2),		SHEET 1 OF 2
LEVEL 1 2ND LOWER HEIDELBERG ROAD EAST IVANHOE 3079		26/07/2019, SPEAR Ref: S142723P		
PHONE 94784933 A.C.N. 004 963 884				



**Appendix C – Schedule – GANTT Chart**

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## Appendix D – Aboriginal Relics Fact Sheets

 Department of Premier and Cabinet		
Process List		
Project Name:	Rock Extraction Proposal	
Project Location:	131 Terry Road, Barwite, VIC 3722	
Date:	29-October-2024	
	QUESTION	ANSWER
<b>Question 1</b>	Is the proposed <u>activity</u> , or all the proposed activities, exempt?	No
<b>Question 2</b>	Are you undertaking a High Impact Activity as listed in the Aboriginal Heritage Regulations?	Yes
<b>Question 3</b>	Does your activity include significant ground disturbance?	Yes
<b>Question 4</b>	Does your activity area include areas of a registered cultural heritage place (regardless of significant ground disturbance) or cultural heritage sensitivity that have not previously been subject to significant ground disturbance?	No
<b>Answer:</b>	ON THE BASIS OF THE <u>ANSWERS</u> YOU HAVE ENTERED YOU ARE NOT REQUIRED BY THE REGULATIONS TO PREPARE A CULTURAL HERITAGE MANAGEMENT PLAN FOR THIS PROJECT	
	This process list is for information purposes only; the result must not be relied upon by a statutory authority in deciding whether a cultural heritage management plan is required for a proposed activity.	