

**AILSA STREET**

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

99°03'25" 60.30

16.15 186°51'25"

60.35 279°03'25"

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

existing site plan scale 1:200

**taylor'd home**

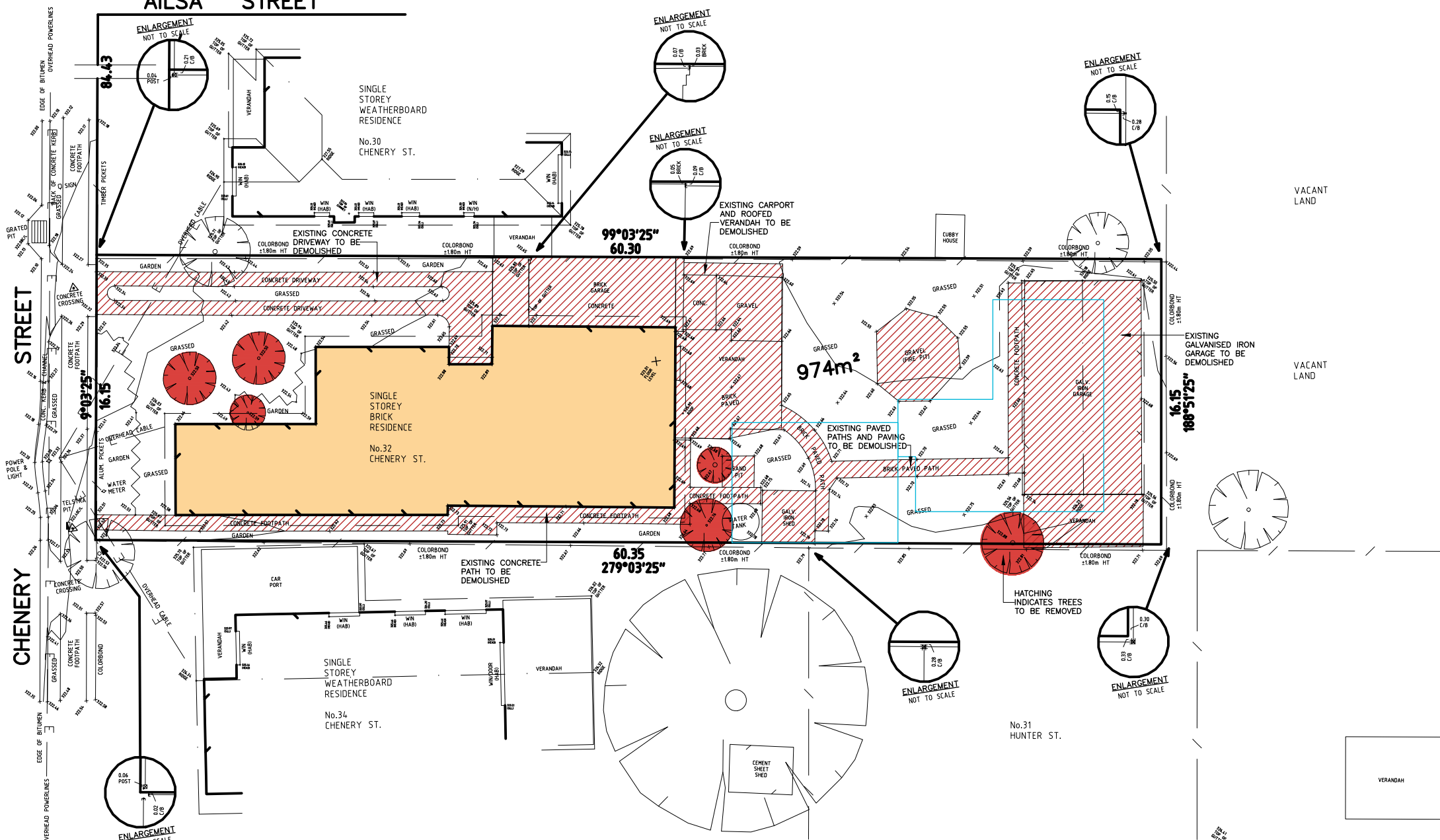
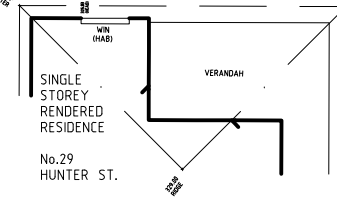
Professional design services

ABN 40 591 495 058

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www.taylor'dhome.com.au



ISSUE: PLANNING SUBMISSION REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Existing Site Plan			
DATE	20th June 2023	DRG No.	TP02
SCALE	1:200	DRAWN	DWT
		REVISION	A



VACANT LAND

VACANT LAND

VERANDAH

SINGLE STOREY RENDERED RESIDENCE

No. 29 HUNTER ST.

No. 31 HUNTER ST.

SINGLE STOREY BRICK RESIDENCE  
No. 32 CHENERY ST.

SINGLE STOREY WEATHERBOARD RESIDENCE  
No. 34 CHENERY ST.

SINGLE STOREY WEATHERBOARD RESIDENCE  
No. 30 CHENERY ST.

974m<sup>2</sup>

HATCHING INDICATES TREES TO BE REMOVED

EXISTING PAVED PATHS AND PAVING TO BE DEMOLISHED

EXISTING CARPORT AND ROOFED VERANDAH TO BE DEMOLISHED

EXISTING CONCRETE DRIVEWAY TO BE DEMOLISHED

EXISTING CONCRETE PATH TO BE DEMOLISHED

EXISTING GALVANISED IRON GARAGE TO BE DEMOLISHED

0.21 C/B

0.07 C/B  
0.03 BRICK

0.15 C/B  
0.28 C/B

0.05 BRICK  
0.09 C/B

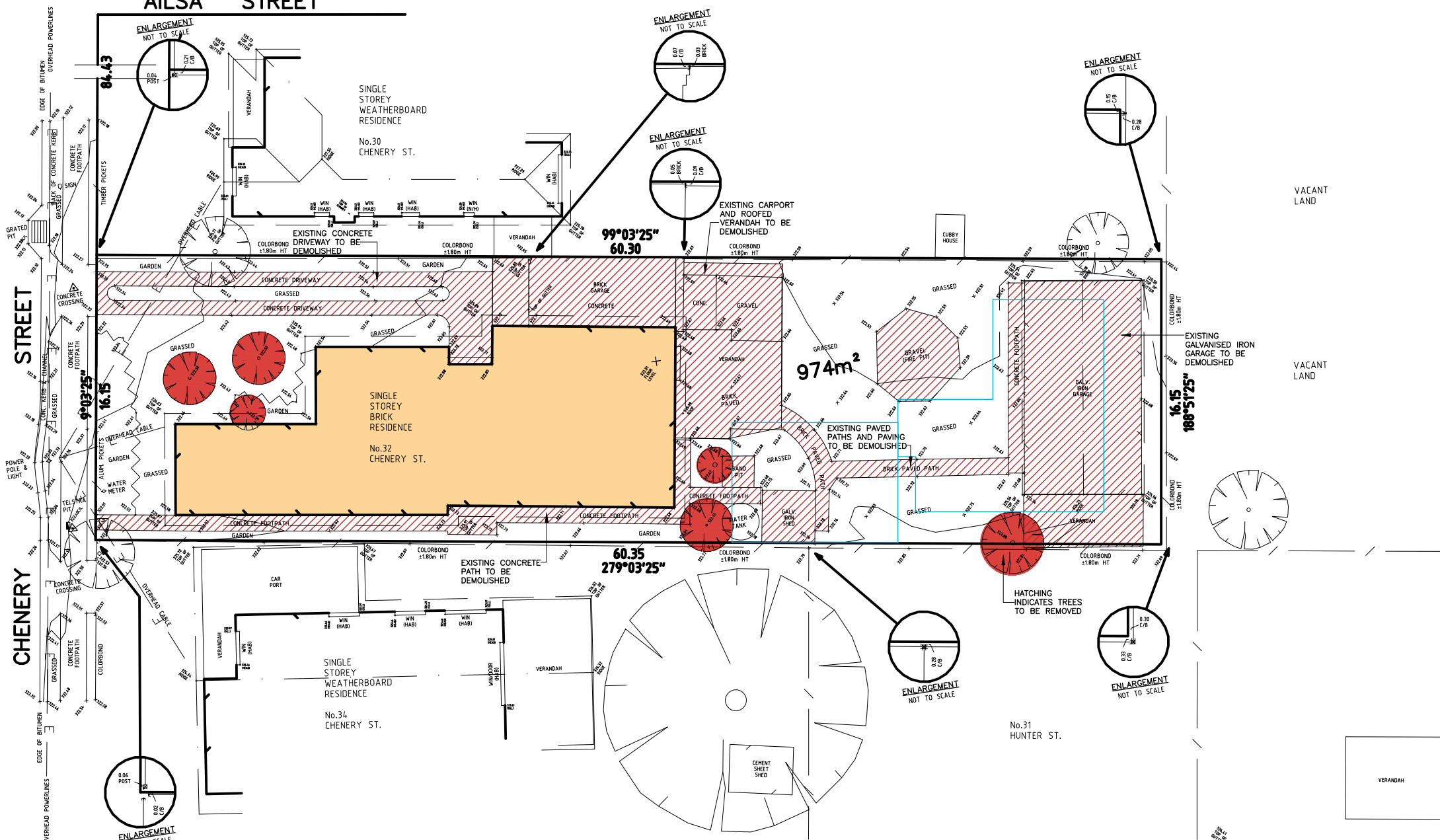
0.15 C/B  
0.28 C/B

0.05 BRICK  
0.09 C/B

0.30 C/B  
0.05 C/B

0.06 POST  
0.02 C/B

0.15 C/B  
0.05 C/B



**AILSA STREET**

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

99°03'25"  
60.30

16.15  
188°51'25"

60.35  
279°03'25"

974m<sup>2</sup>

**STREET**

**CHENERY STREET**

EDGE OF BITUMEN OVERHEAD POWERLINES  
CONCRETE FOOTPATH  
GRASSED  
GRAVEL DRIVEWAY  
GARDEN  
VERANDAH  
WATER METER  
ALUM. PIPES OVERHEAD CABLE  
CONCRETE CROSSING  
POWER POLE & LIGHT  
EDGE OF BITUMEN OVERHEAD POWERLINES  
CONCRETE FOOTPATH  
GRASSED  
GRAVEL DRIVEWAY  
GARDEN  
VERANDAH  
WINDOR (HAB)  
VERANDAH

84.43

16.15

0.06 POST

ENLARGEMENT NOT TO SCALE

SINGLE STOREY WEATHERBOARD RESIDENCE  
No.30 CHENERY ST.

NEW TIMBER DECK  
4366

EXISTING SINGLE STOREY BRICK RESIDENCE  
No.32 CHENERY ST.

SINGLE STOREY WEATHERBOARD RESIDENCE  
No.34 CHENERY ST.

No.31 HUNTER ST.

VACANT LAND

OVERLOOKING RADIUS

VACANT LAND

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE

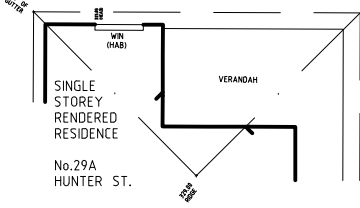
proposed site plan scale 1:200



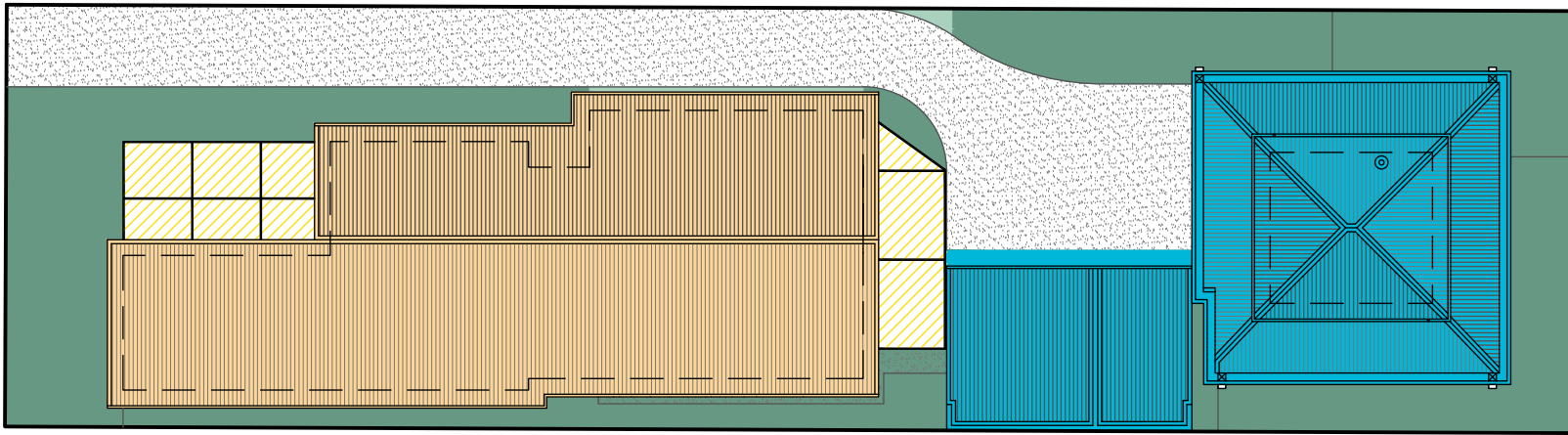
ABN 40 591 495 058  
mobile: 0400 031 617  
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[www.taylor'dhome.com.au](http://www.taylor'dhome.com.au)



ISSUE: PLANNING SUBMISSION REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Proposed Site Plan			
DATE	20th June 2023	DRG No.	TP03
SCALE	1:200	DRAWN	DWT
REVISION			A





CHENERY STREET




proposed roof plan scale 1:200

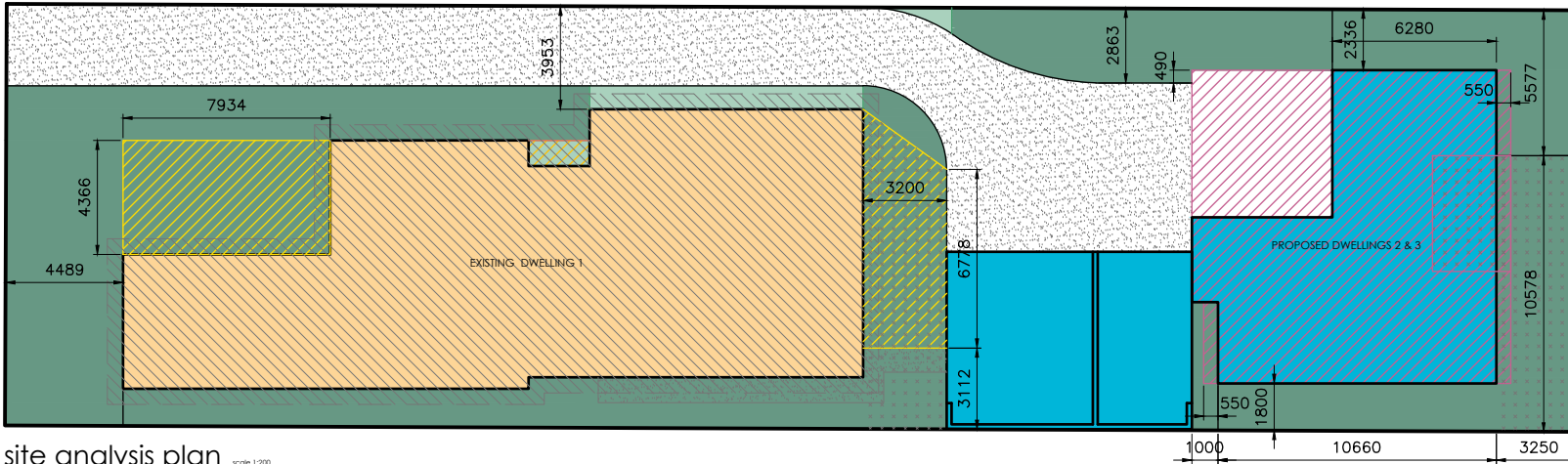
SITE COVERAGE

-  existing dwelling 1 on ground = 239.5 sqm  
proposed decking = 60.1 sqm  
total building area = 299.6 sqm  
roofed area = 290.1 sqm
-  proposed dwellings 2 & 3 on ground = 106.5 sqm  
carports 1 & 2 = 63.8 sqm  
total area = 170.2 sqm  
roofed area = 145.1 sqm  
site area = 974 sqm  
max. site coverage permitted 60% = 584 sqm  
existing dwelling = 239.5 sqm  
proposed decks = 60.1 sqm  
proposed dwellings 2 & 3 on ground = 106.4  
proposed carports = 63.8 sqm  
total building area = 469.8 sqm OR 48%

PERMEABILITY


-  site area = 974 sqm  
min. permeable area required 20% of 974 = 195 sqm  
roofed area dwelling 1 = 290.1  
roofed area carport 1 & 2 = 63.8  
roofed area dwellings 2 & 3 = 145.1  
hard surfaced areas ground = nil  
total hard surfaced areas = 499 sqm  
permeable area achieved = 475 sqm OR 48%

CHENERY STREET




site analysis plan scale 1:200

GARDEN AREA

-  site area = 974 sqm  
min. garden area required 35% = 341 sqm  
garden area achieved = 345 sqm OR 35.4%

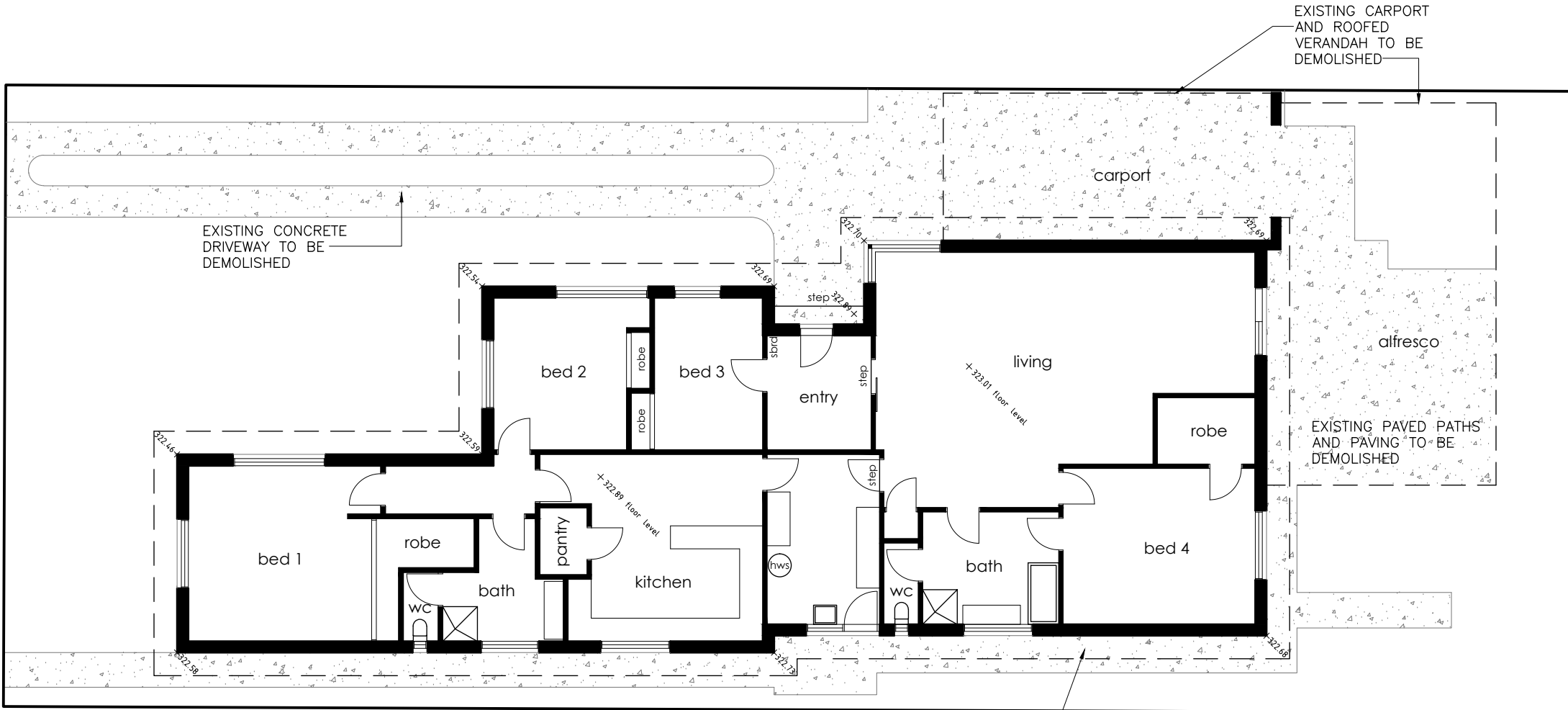
PRIVATE OPEN SPACE

- min. private open space required = 40 sqm  
min. secluded private open space required = 25 sqm  
min. balcony area required = 8 sqm

-  dwelling one  
SPOS = 35.5 sqm  
POS = 34.6 sqm (front deck)  
total area achieved = 70.1 sqm
- dwelling two  
SPOS = 34.3 sqm  
POS = 19.4 sqm (side yard)  
total area achieved = 53.7 sqm
- dwelling three  
SPOS = 13.3 sqm (balcony)  
POS = 32.6 sqm (ground level)  
total area achieved = 45.9 sqm

ISSUE: PLANNING SUBMISSION REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Proposed Roof Plan and Site Analysis			
DATE	11th NOVEMBER 2022	DRG No.	TP04
SCALE	1:200	DRAWN	DWT
REVISION			A





existing dwelling (Unit 1) - existing floor plan

scale 1:100

EXISTING CONCRETE PATH TO BE DEMOLISHED

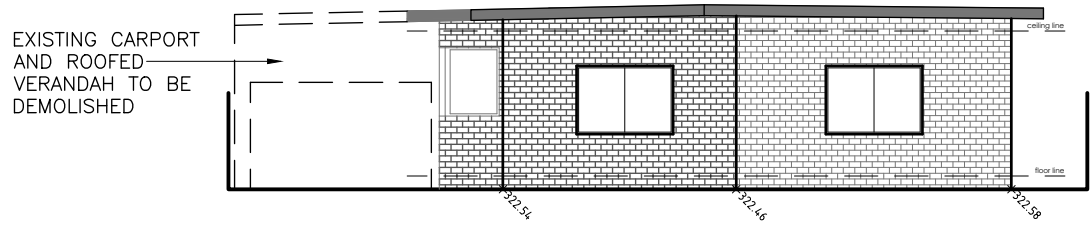
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[www.taylorhome.com.au](http://www.taylorhome.com.au)

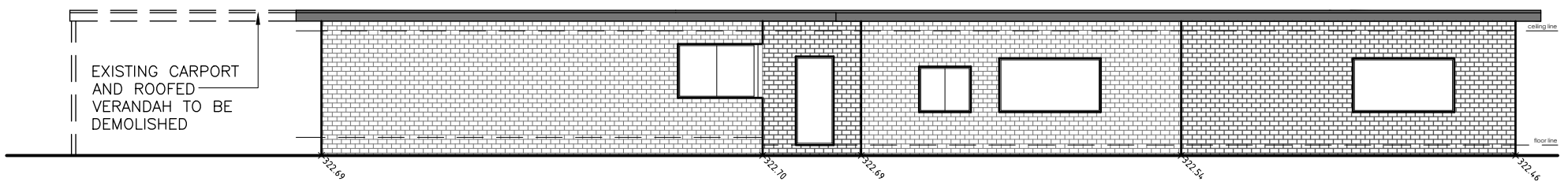
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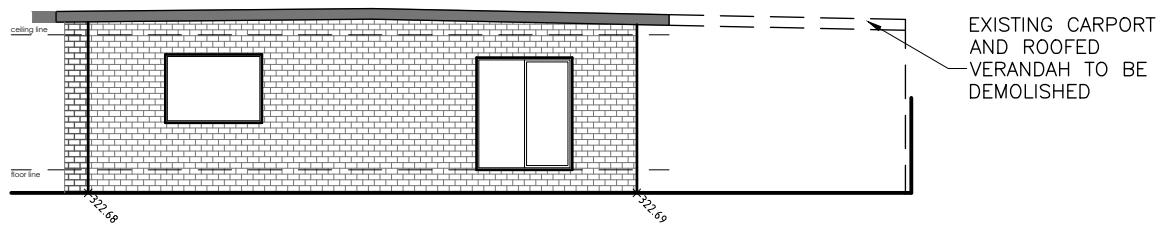
ISSUE: PLANNING SUBMISSION REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Dwelling 1 Existing Floor Plan			
DATE	20th June 2023	DRG No.	TP05
SCALE	1:100	DRAWN	DWT
REVISION			A



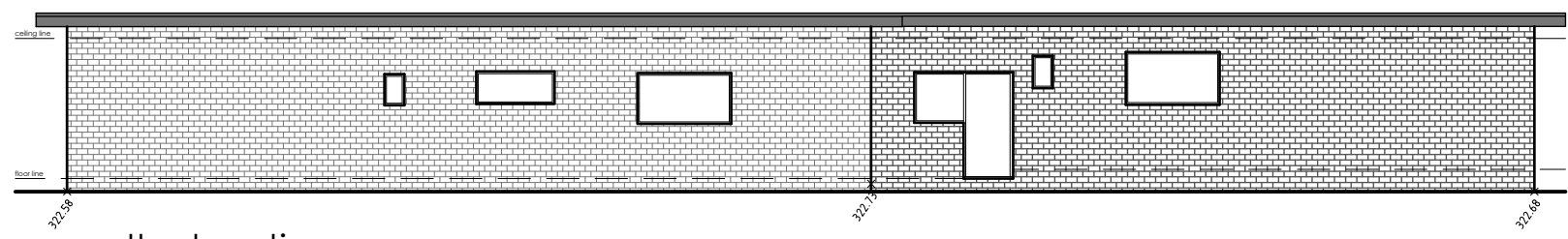
west elevation scale 1:100



north elevation scale 1:100

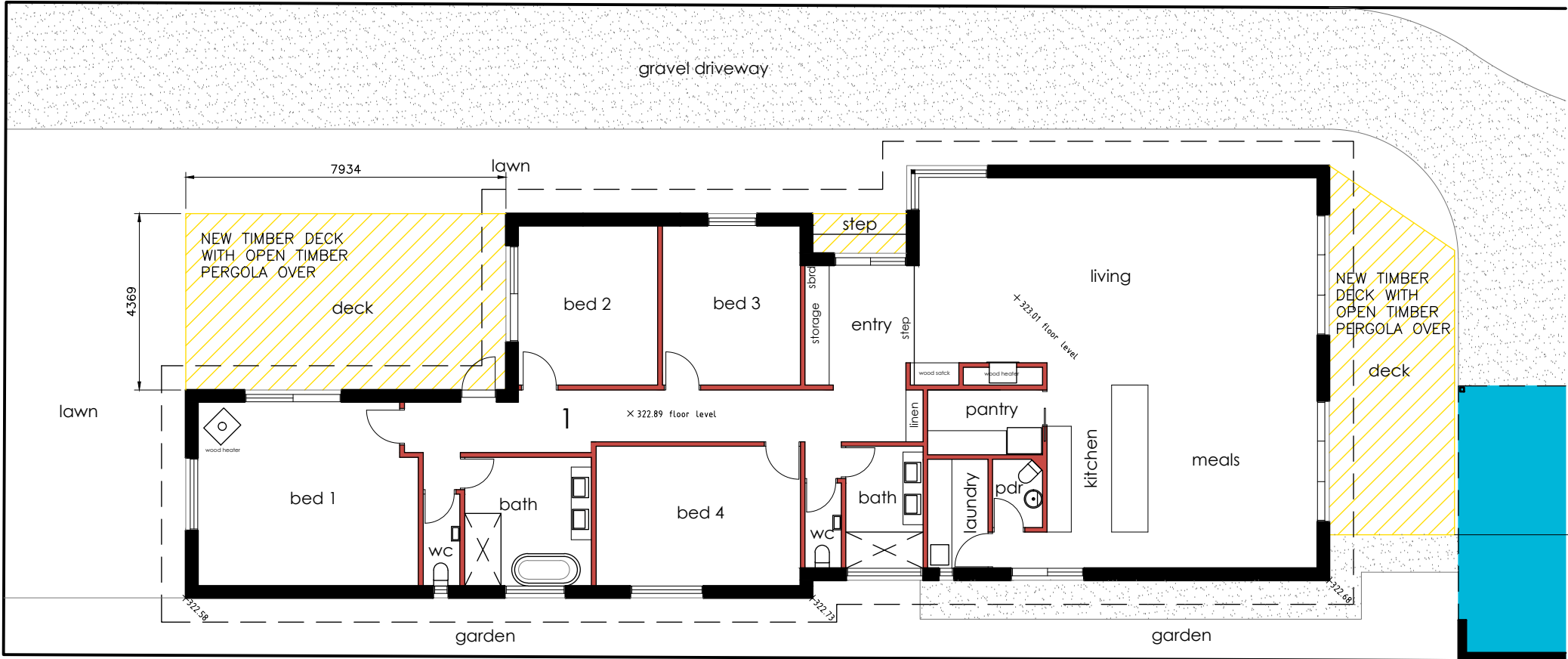


east elevation scale 1:100



south elevation scale 1:100

ISSUE: PLANNING SUBMISSION REV.A				
CLIENT: CALLUM BONO				
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722				
PROPOSED 3 DWELLING DEVELOPMENT				
Dwelling 1 Existing Elevations				
DATE	20th June 2023	DRG No.	TP06	
SCALE	1:100	DRAWN	DWT	REVISION A



existing dwelling (Unit 1) - proposed floor plan

scale 1:100

areas	
floor area dwelling one	= 237.8 sqm
entry deck	= 2.2 sqm
front deck	= 34.6 sqm
rear deck	= 25.1 sqm
carport dwelling one	= 38.7 sqm

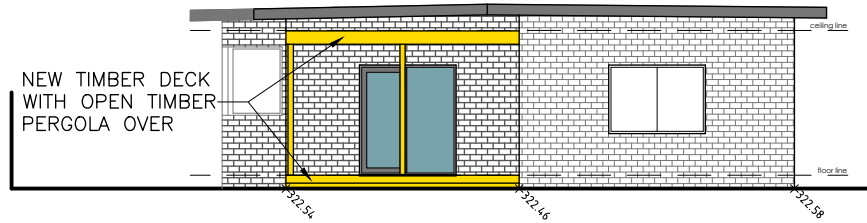
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[www.taylorhome.com.au](http://www.taylorhome.com.au)

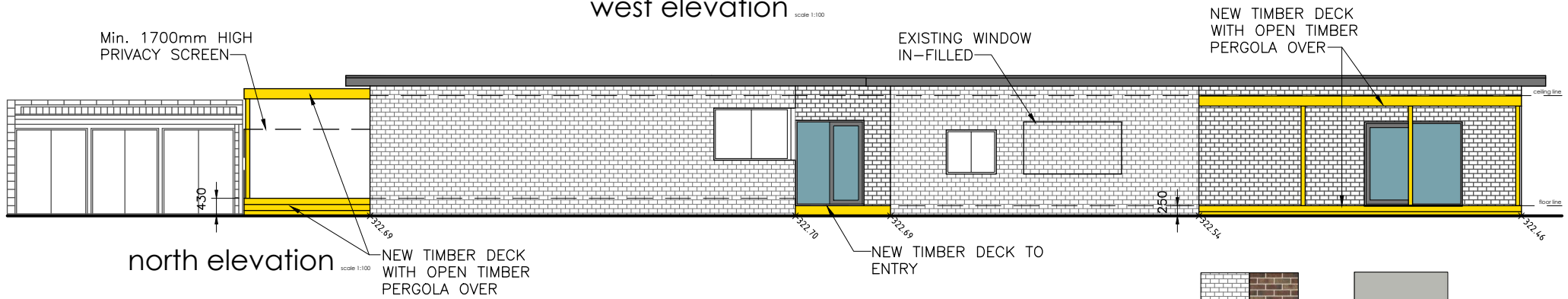
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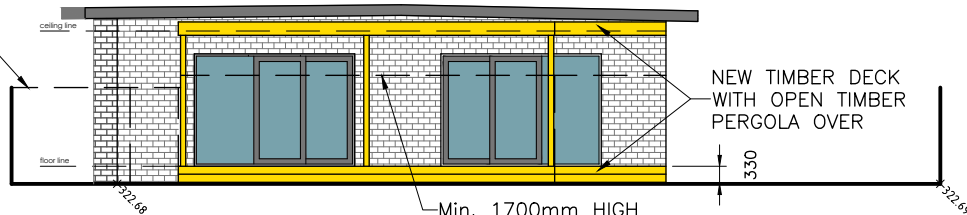
ISSUE: PLANNING SUBMISSION REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Dwelling 1 Proposed Floor Plan			
DATE	20th June 2023	DRG No.	TP07
SCALE	1:100	DRAWN	DWT
REVISION			A



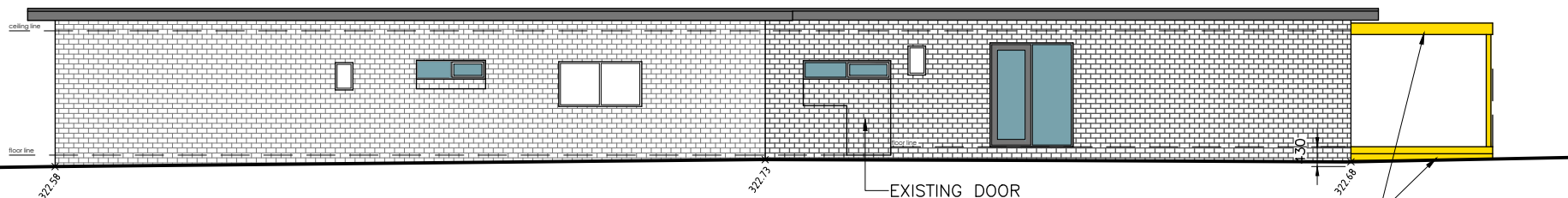
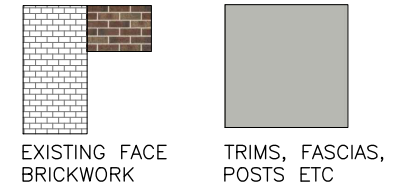
west elevation



north elevation

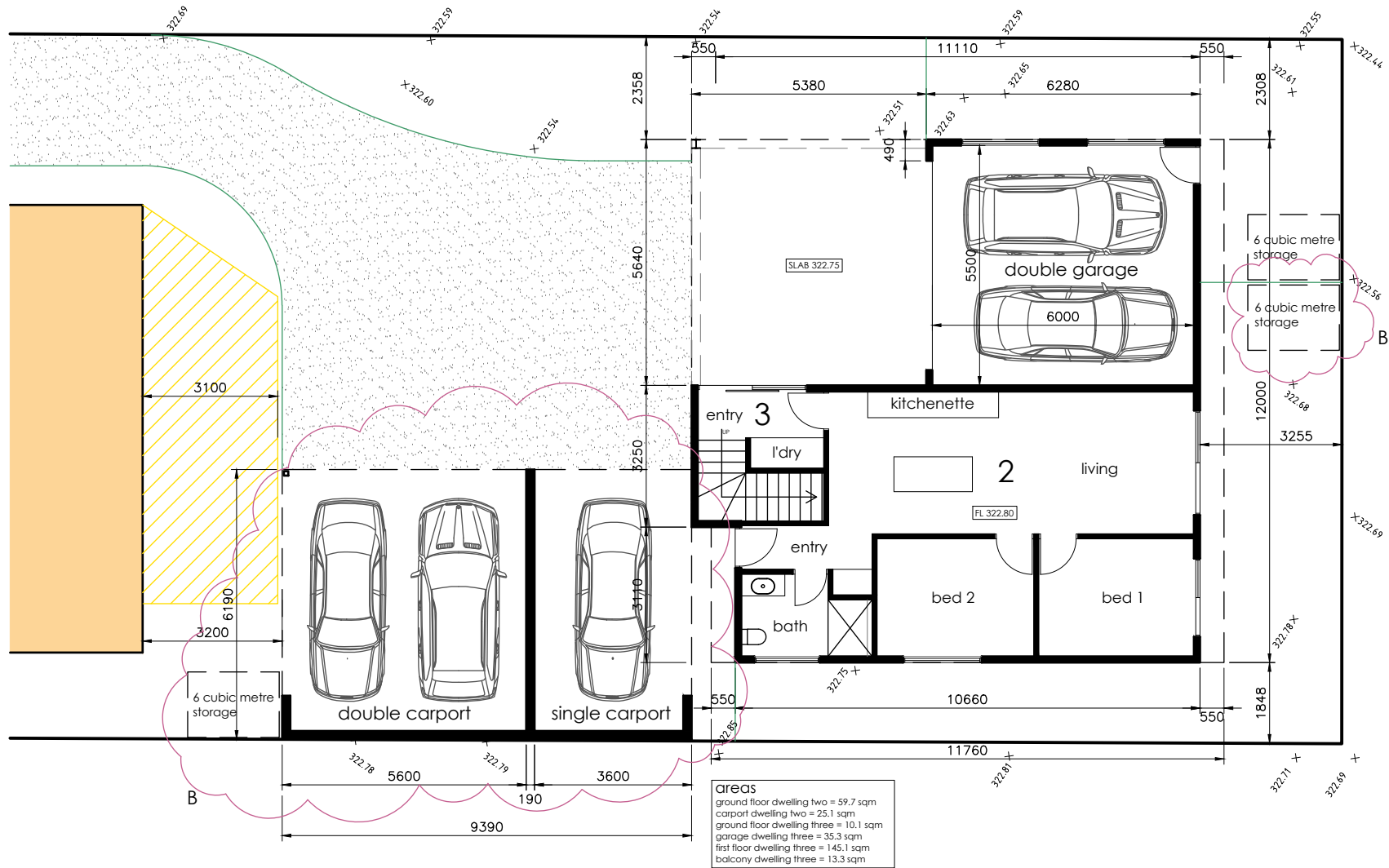


east elevation



south elevation

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CLIENT: CALLUM BONO				
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722				
PROPOSED 3 DWELLING DEVELOPMENT				
Dwelling 1 Proposed Elevations				
DATE	20th June 2023	DRG No.	TP08	
SCALE	1:100	DRAWN	DWT	REVISION A



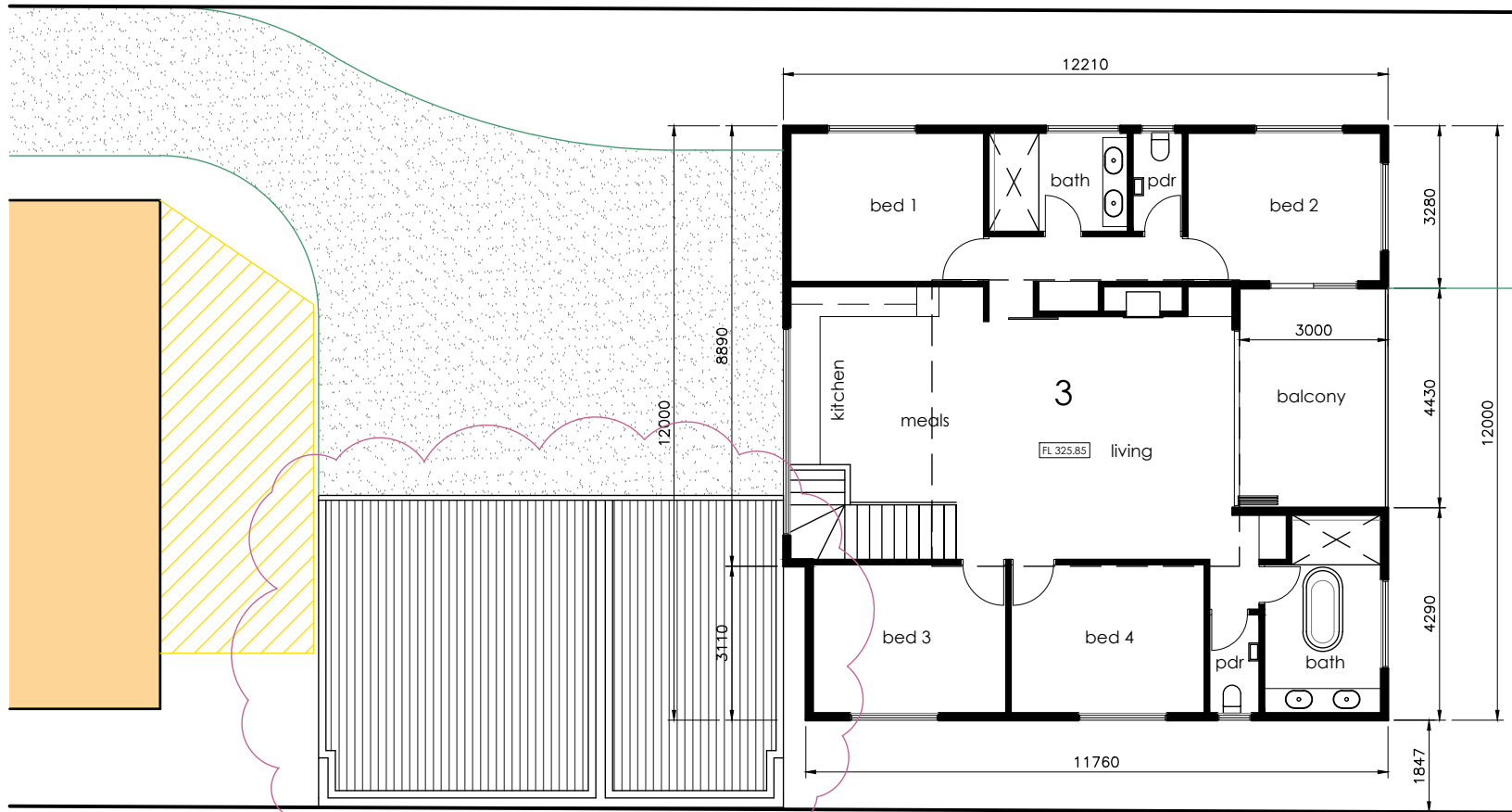
proposed floor plans dwellings two & three

scale 1:100

ISSUE: PLANNING CONSULTATIVE MEETING REV.B	20.09.23
ISSUE: PLANNING SUBMISSION REV.A	
CLIENT: CALLUM BONO	
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722	
PROPOSED 3 DWELLING DEVELOPMENT	
Dwellings 2 & 3 Proposed Floor Plans	
DATE	20th June 2023
SCALE	1:100
DRAWN	DWT
DRG No.	TP09
REVISION	B







B  
proposed first floor plan dwelling 3

scale 1:100

areas	
ground floor dwelling two =	59.7 sqm
carport dwelling two =	25.1 sqm
ground floor dwelling three =	10.1 sqm
garage dwelling three =	35.3 sqm
first floor dwelling three =	145.1 sqm
balcony dwelling three =	13.3 sqm

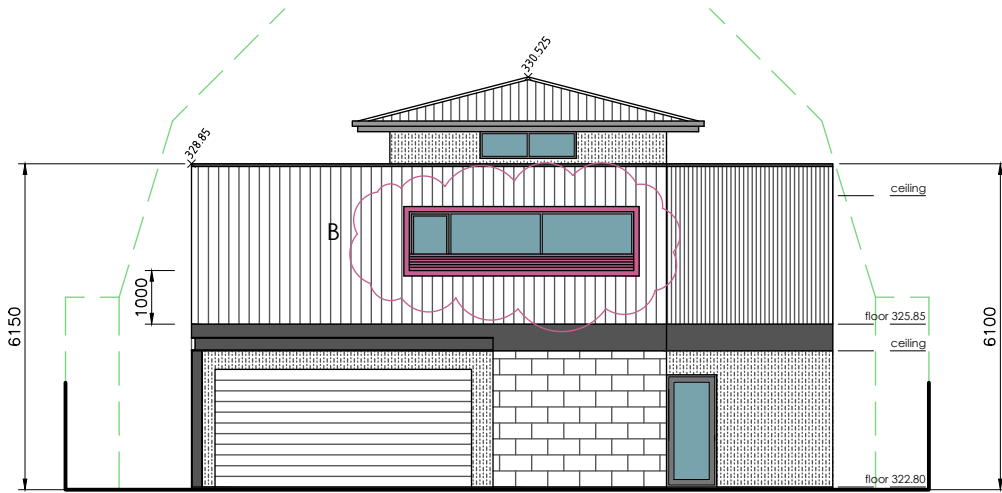
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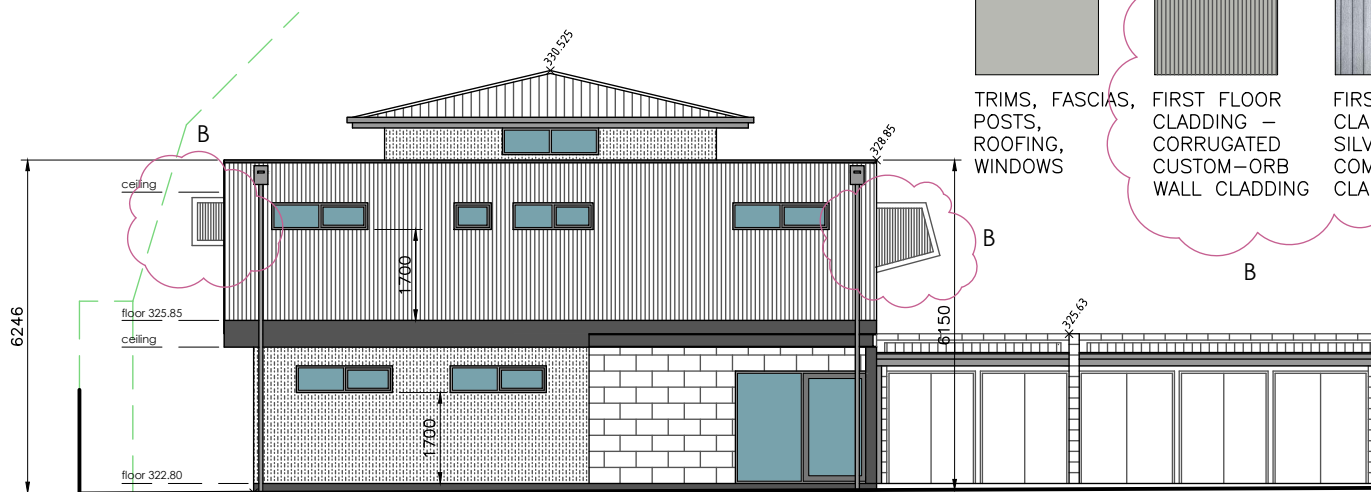
ISSUE: PLANNING SUBMISSION REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Dwelling 3 Proposed Floor Plan			
DATE	20th June 2023	DRG No.	TP10
SCALE	1:100	DRAWN	DWT
REVISION			A



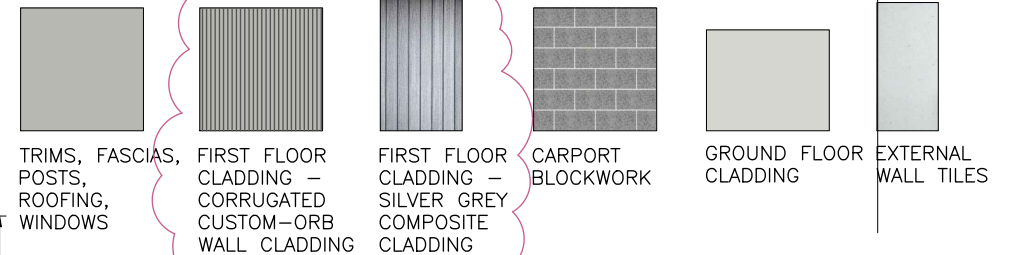
west elevation scale 1:100



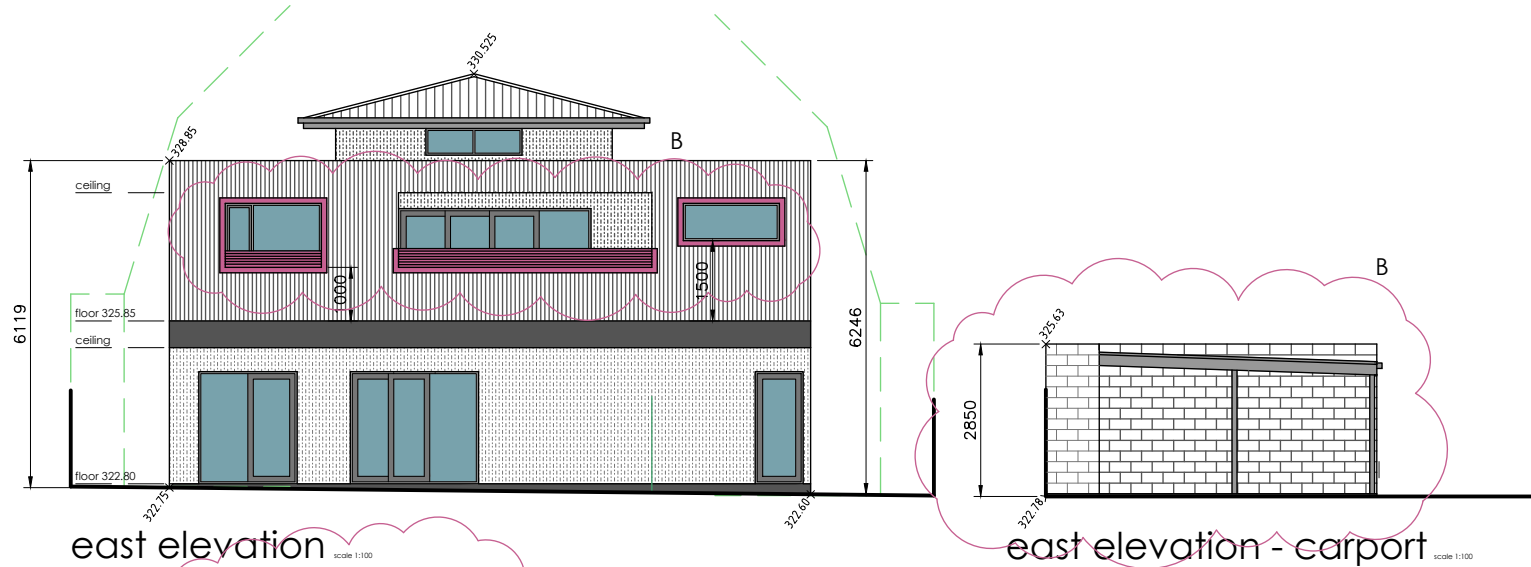
west elevation - carport scale 1:100




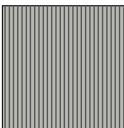
north elevation scale 1:100




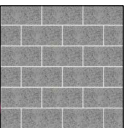
ISSUE: PLANNING CONSULTATIVE MEETING REV.B	20.09.23
ISSUE: PLANNING SUBMISSION REV.A	
CLIENT: CALLUM BONO	
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722	
PROPOSED 3 DWELLING DEVELOPMENT	
Dwellings 2 & 3 Proposed Elevations	
DATE	20th June 2023
SCALE	1:100
DRAWN	DWT
DRG No.	TP 11
REVISION	B





- 

TRIMS, FASCIAS,  
POSTS,  
ROOFING,  
WINDOWS
- 

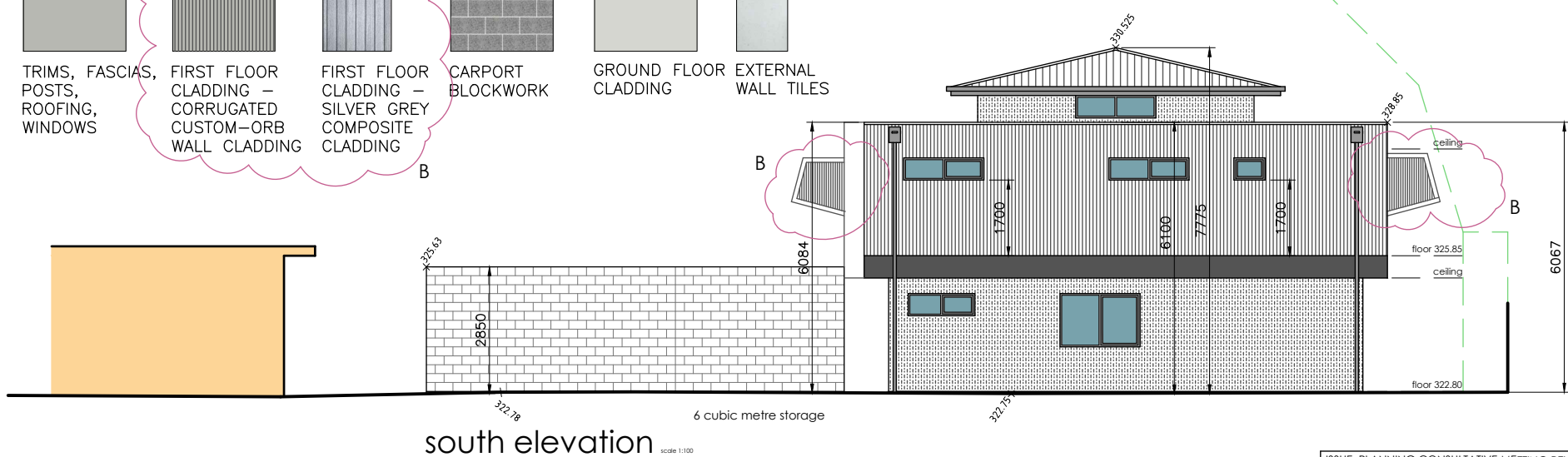
FIRST FLOOR  
CLADDING –  
CORRUGATED  
CUSTOM-ORB  
WALL CLADDING
- 

FIRST FLOOR  
CLADDING –  
SILVER GREY  
COMPOSITE  
CLADDING
- 

CARPORT  
BLOCKWORK
- 

GROUND FLOOR  
CLADDING
- 

EXTERNAL  
WALL TILES



ISSUE: PLANNING CONSULTATIVE MEETING REV.B	20.09.23		
ISSUE: PLANNING SUBMISSION REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Dwellings 2 & 3 Proposed Elevations			
DATE	20th June 2023	DRG No.	TP12
SCALE	1:100	DRAWN	DWT
REVISION			B

STREET

CHENERY

No.30  
CHENERY ST.

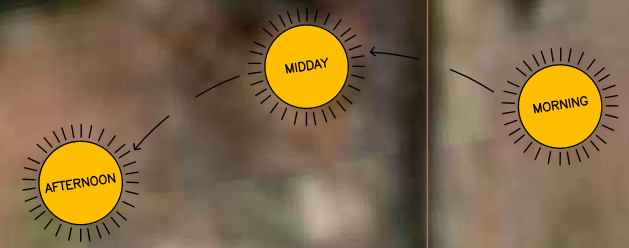
No.32  
CHENERY ST.

No.34  
CHENERY ST.

No.31  
HUNTER ST.

No.29A  
HUNTER ST.

VACANT  
LAND



ISSUE: PLANNING SUBMISSION REV.A					
CLIENT: CALLUM BONO					
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722					
PROPOSED 3 DWELLING DEVELOPMENT					
Shadow Diagram 9am					
DATE	20th June 2023	DRG No.	TP13		
SCALE	1:200	DRAWN	DWT	REVISION	A



STREET

CHENERY

No.30  
CHENERY ST.

No.32  
CHENERY ST.

No.34  
CHENERY ST.



VACANT  
LAND

No.29A  
HUNTER ST.

No.31  
HUNTER ST.

ISSUE: PLANNING SUBMISSION REV.A					
CLIENT: CALLUM BONO					
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722					
PROPOSED 3 DWELLING DEVELOPMENT					
Shadow Diagram 12 midday					
DATE	20th June 2023	DRG No.	TP14		
SCALE	1:200	DRAWN	DWT	REVISION	A



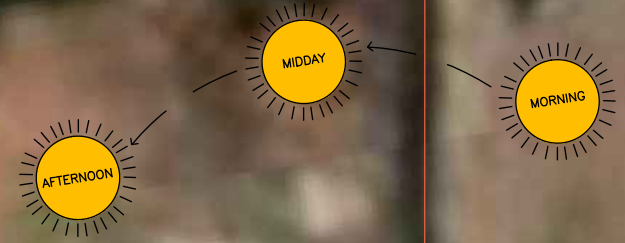
STREET

CHENERY

No.30  
CHENERY ST.

No.32  
CHENERY ST.

No.34  
CHENERY ST.



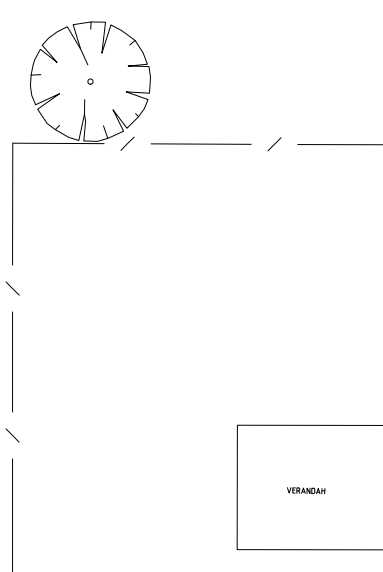
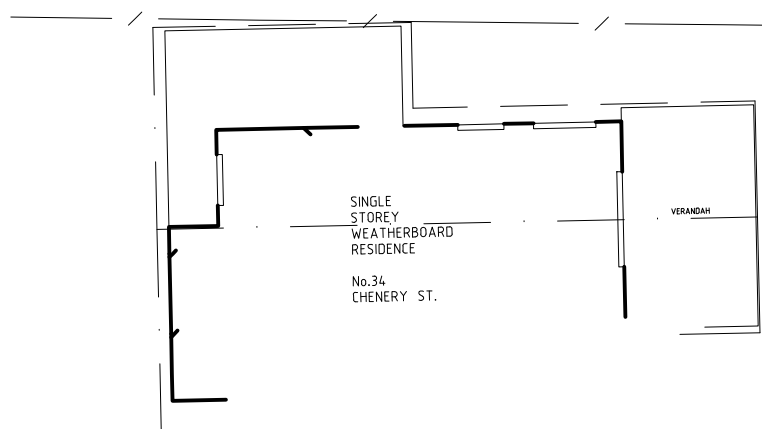
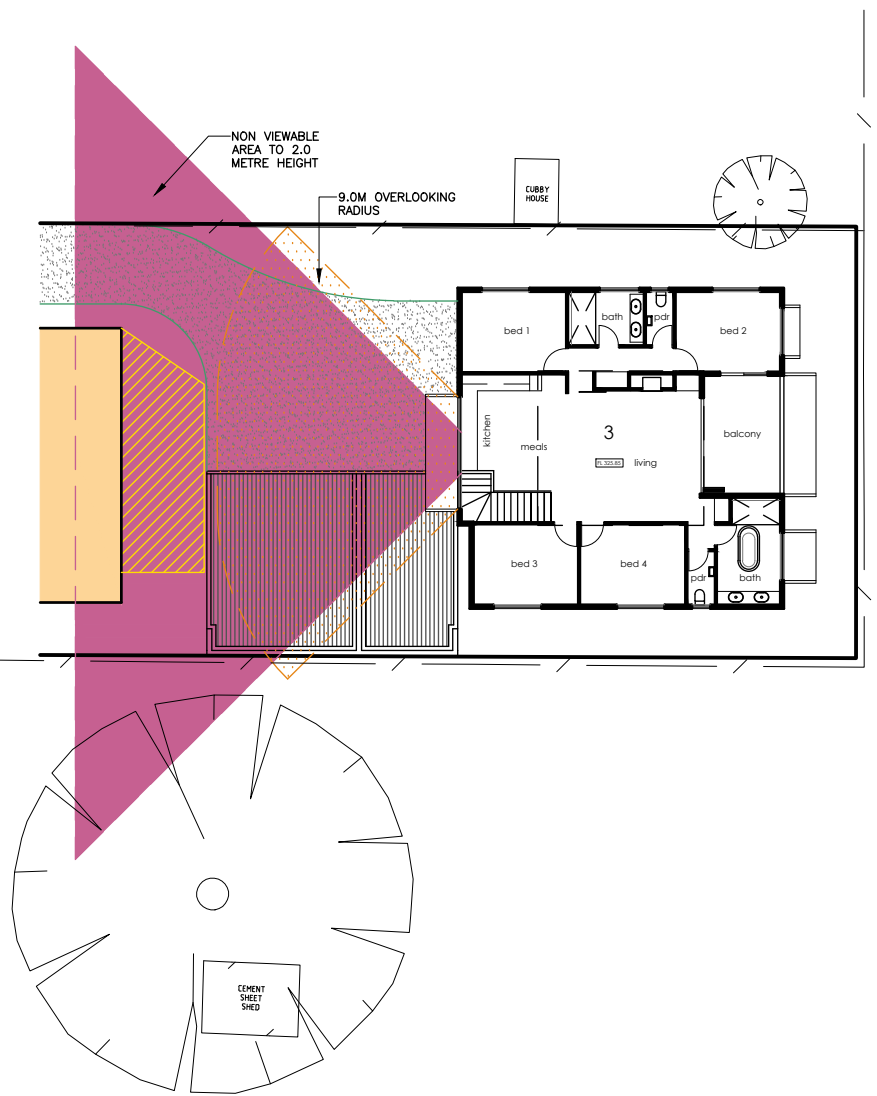
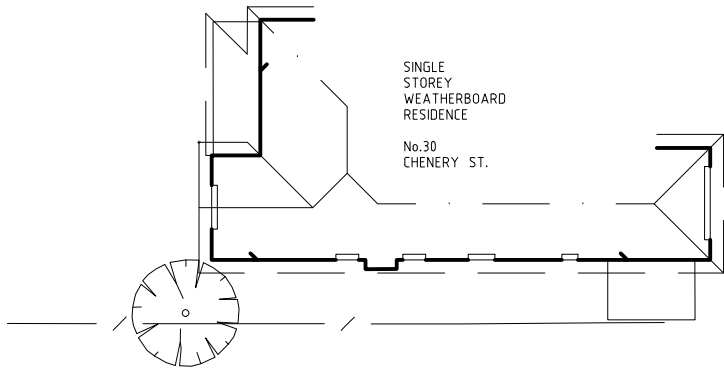
VACANT  
LAND

No.29A  
HUNTER ST.

No.31  
HUNTER ST.

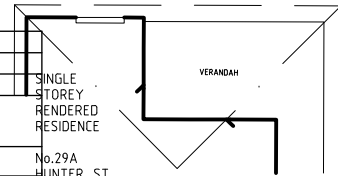
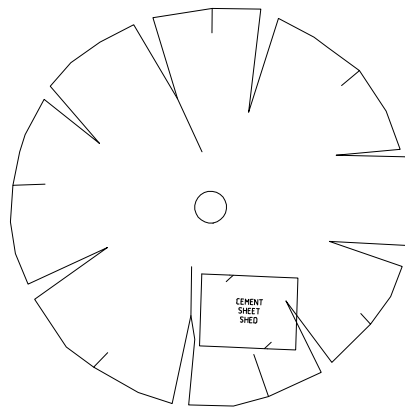
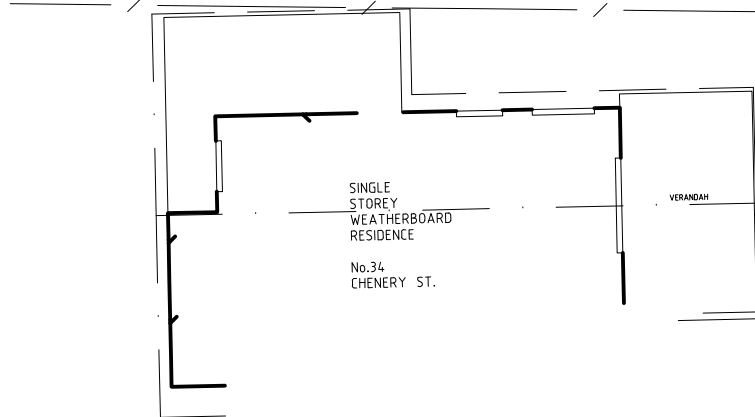
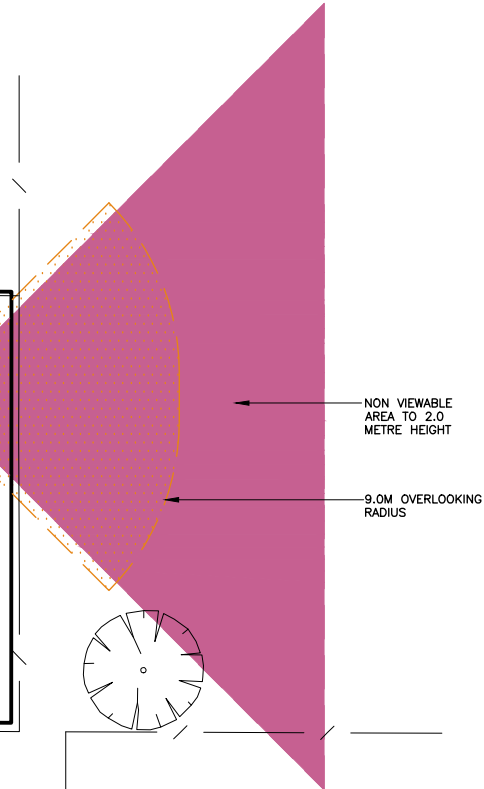
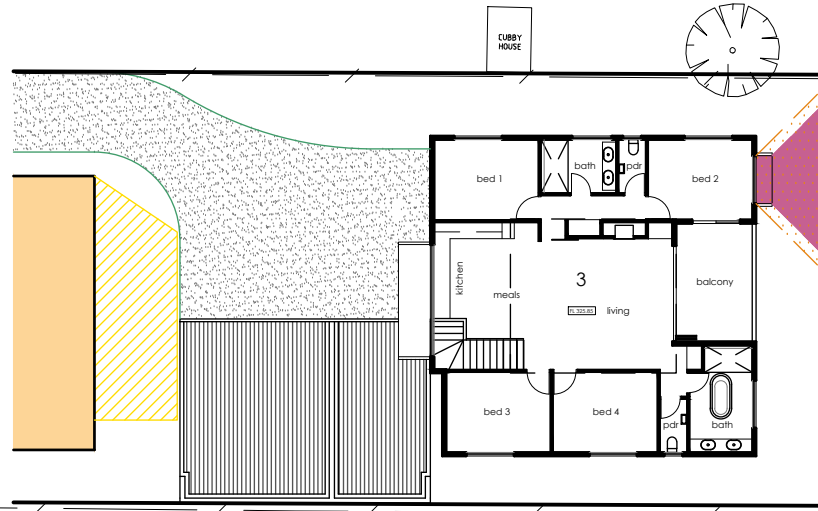
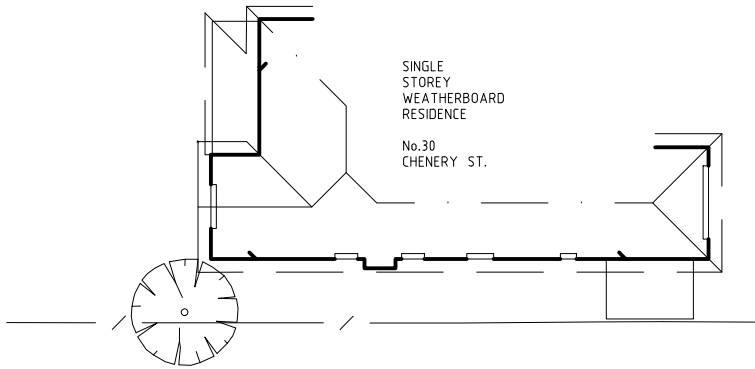
ISSUE: PLANNING SUBMISSION REV.A					
CLIENT: CALLUM BONO					
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722					
PROPOSED 3 DWELLING DEVELOPMENT					
Shadow Diagram 3pm					
DATE	20th June 2023	DRG No.	TP15		
SCALE	1:200	DRAWN	DWT	REVISION	A





ISSUE: PLANNING CONSULTATIVE MEETING REV. A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Kitchen Overlooking Plan			
DATE	20th September 2023	DRG No.	TP16
SCALE	1:200	DRAWN	DWT
		REVISION	A

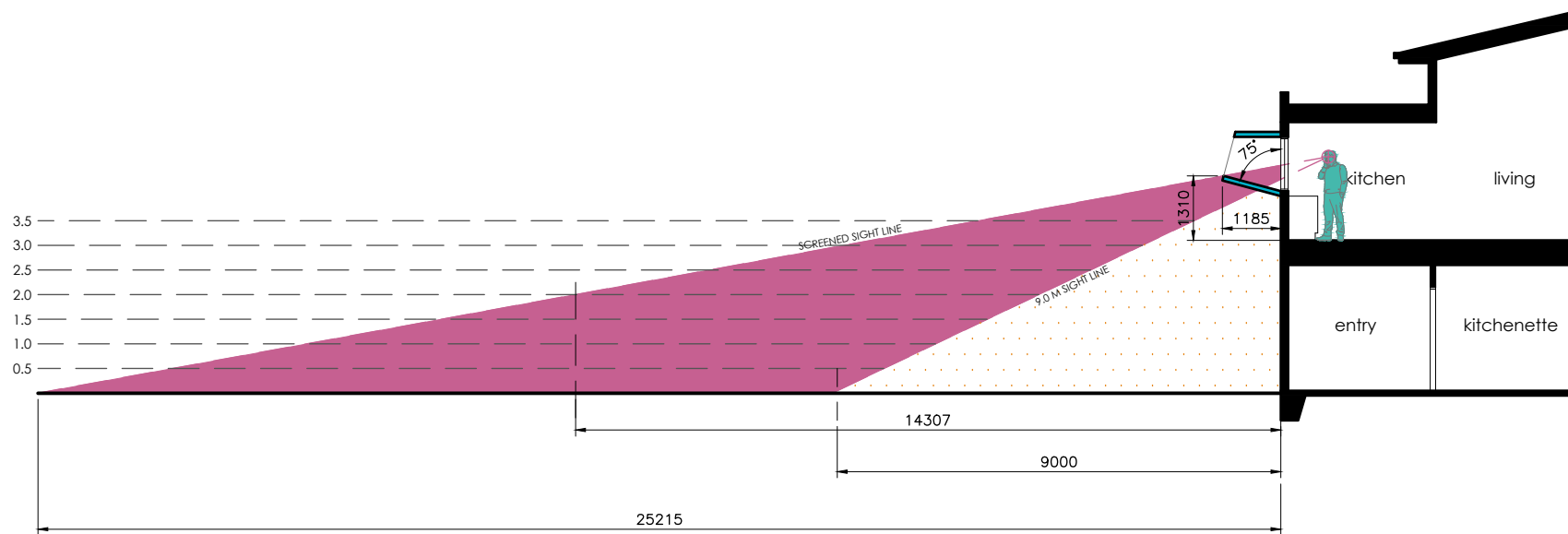




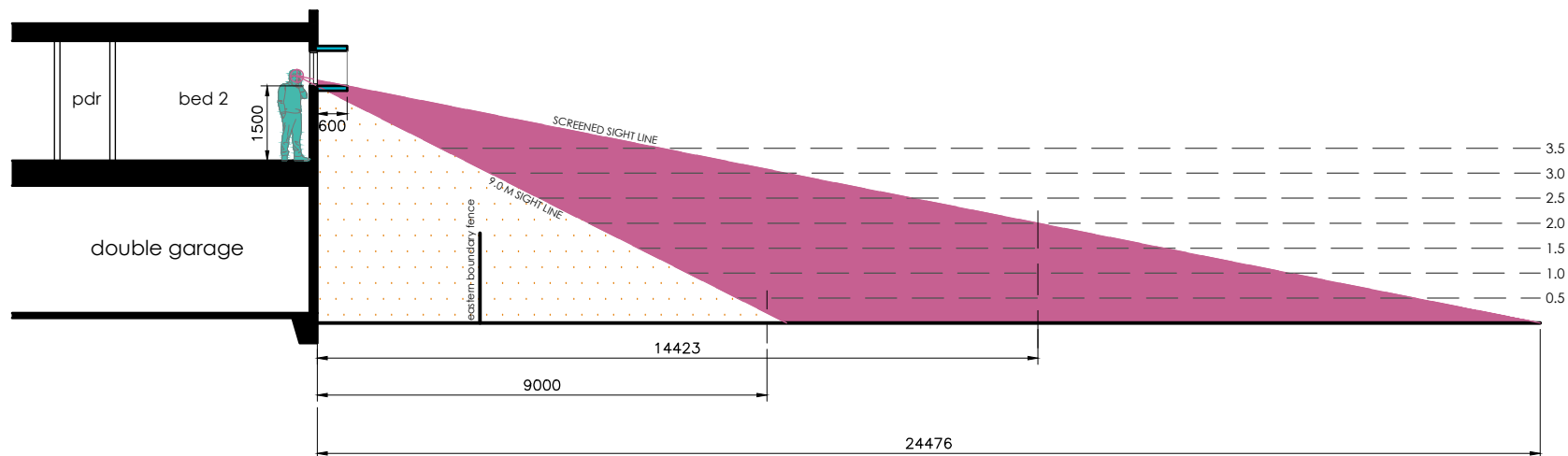
ISSUE: PLANNING CONSULTATIVE MEETING REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
<b>PROPOSED 3 DWELLING DEVELOPMENT</b>			
<b>Bed 2 Overlooking Plan</b>			
DATE	20th September 2023	DRG No.	TP17
SCALE	1:200	DRAWN	DWT
		REVISION	A







kitchen window - west elevation scale 1:100



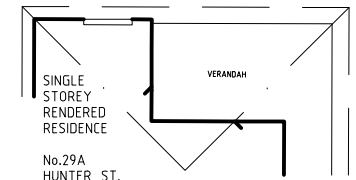
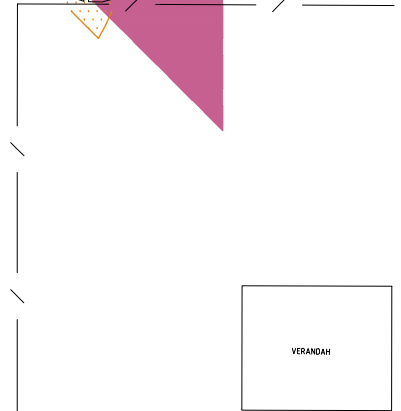
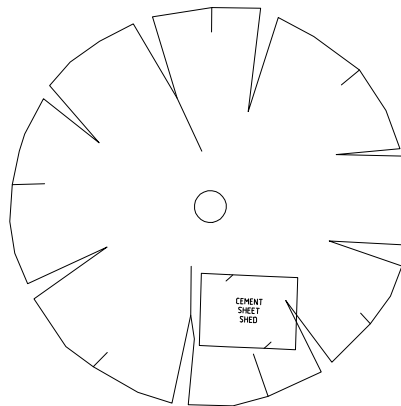
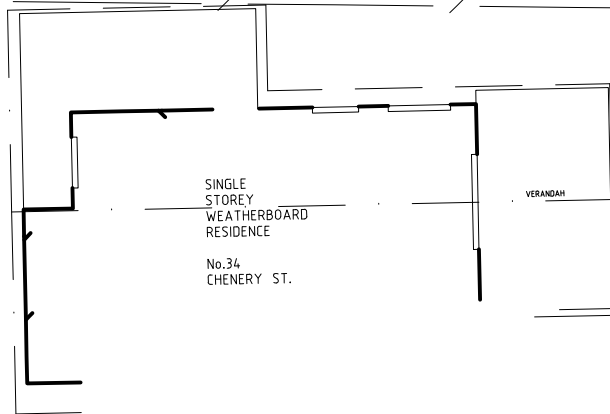
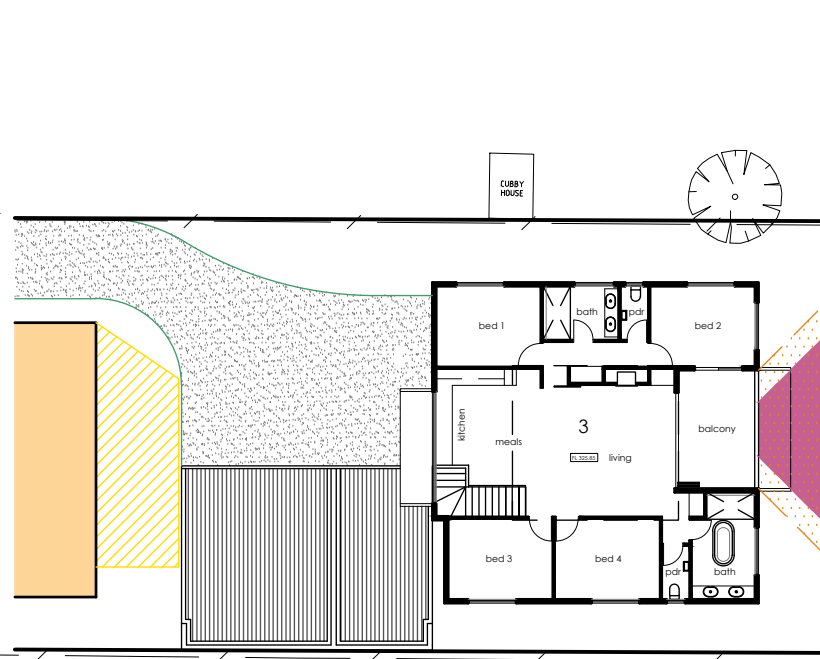
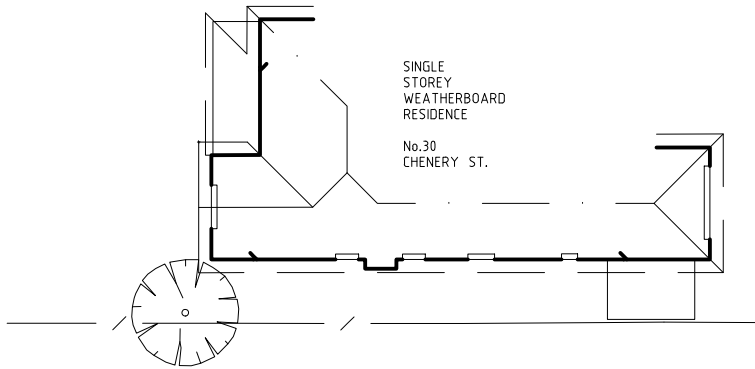
bed 2 - east elevation scale 1:100  
option one

ISSUE: PLANNING CONSULTATIVE MEETING REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Kitchen & Bed 2 Overlooking Cross-section			
DATE	20th September 2023	DRG No.	TP18
SCALE	1:100	DRAWN	DWT
REVISION			A

ABN 40 591 495 058

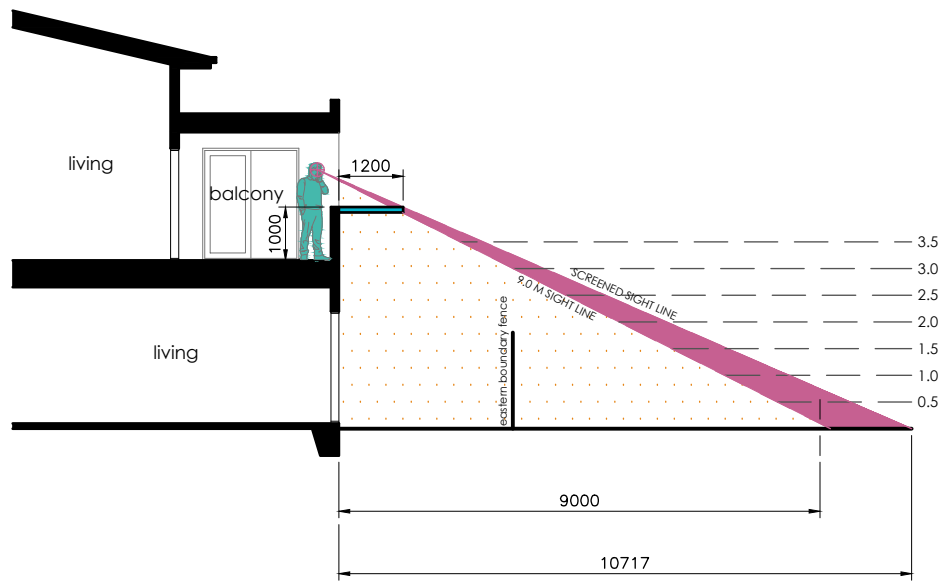
mobile: 0400 031 617  
email: [duncan@taylorhome.com.au](mailto:duncan@taylorhome.com.au)  
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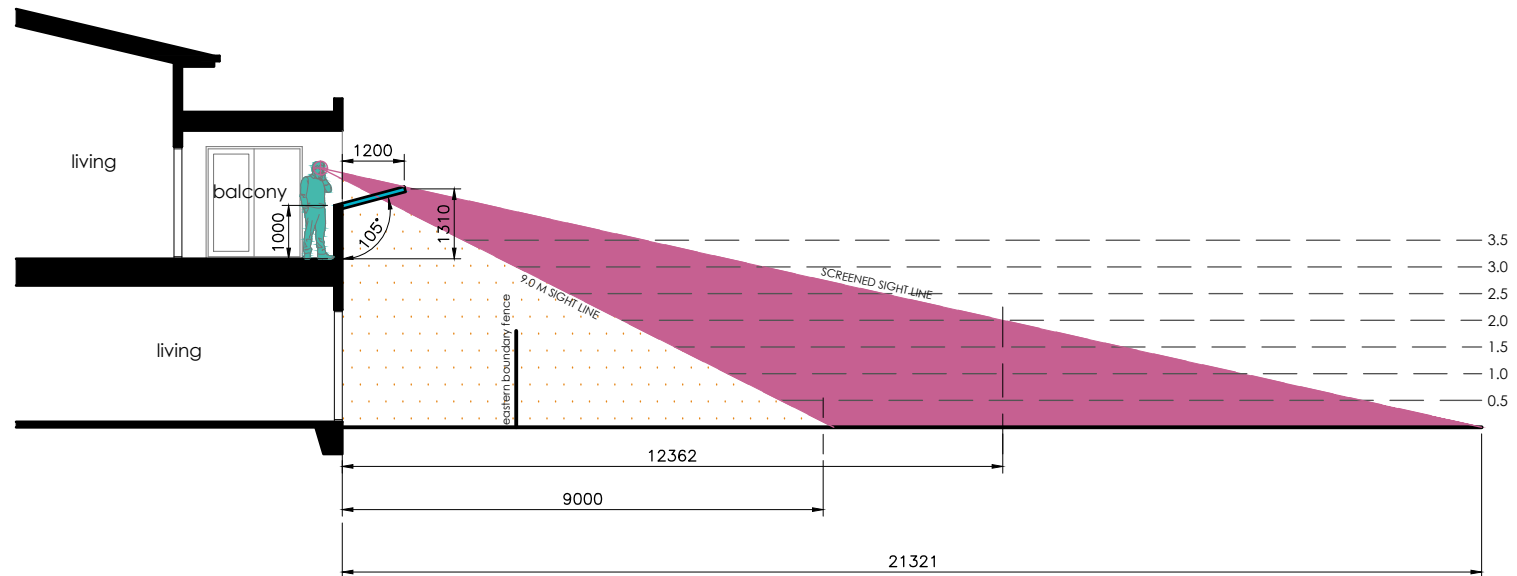


ISSUE: PLANNING CONSULTATIVE MEETING REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
<b>PROPOSED 3 DWELLING DEVELOPMENT</b>			
<b>Balcony Overlooking Plan</b>			
DATE	20th September 2023	DRG No.	TP19
SCALE	1:200	DRAWN	DWT
		REVISION	A





balcony - east elevation  
option one scale 1:100



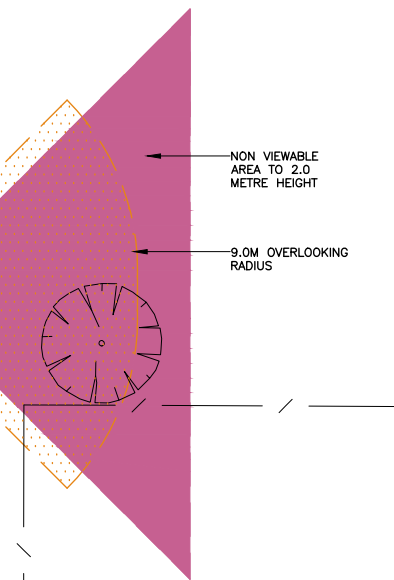
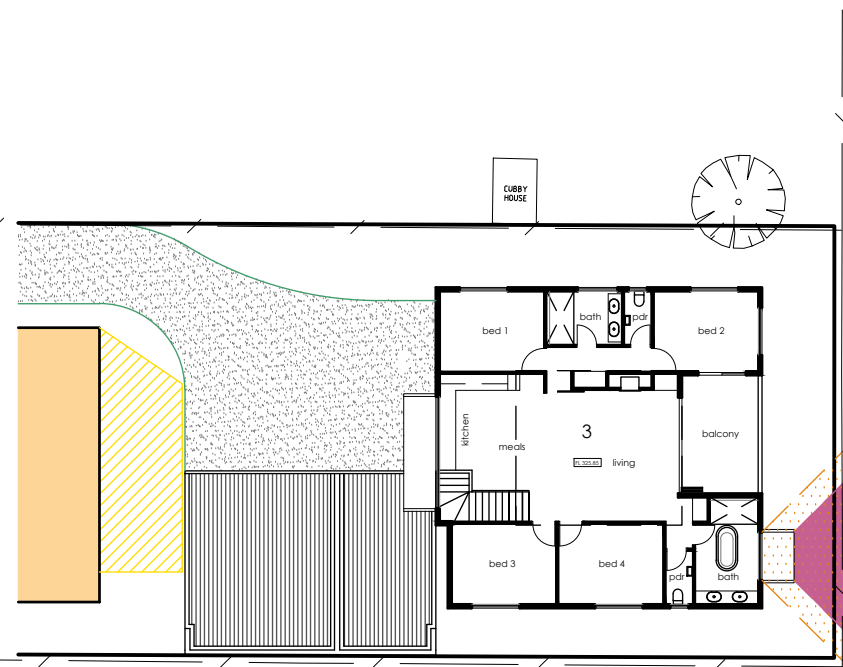
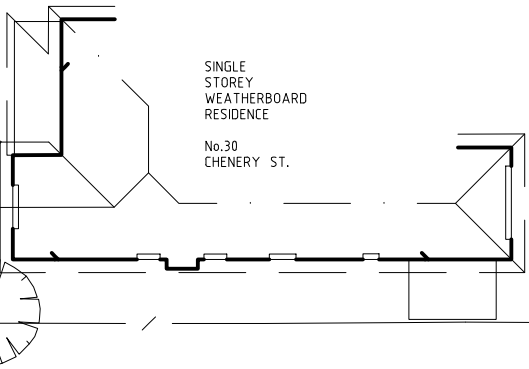
balcony - east elevation  
option two scale 1:100

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CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Balcony Overlooking Cross-section			
DATE	20th September 2023	DRG No.	TP20
SCALE	1:100	DRAWN	DWT
		REVISION	A

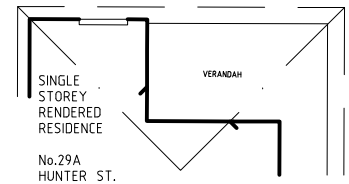
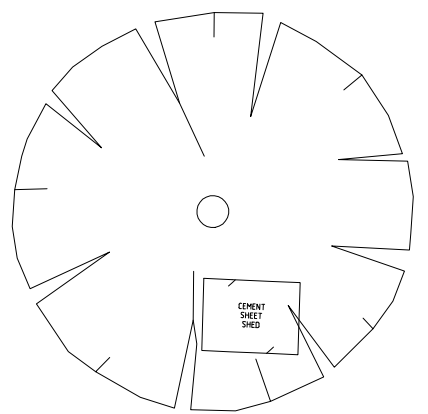
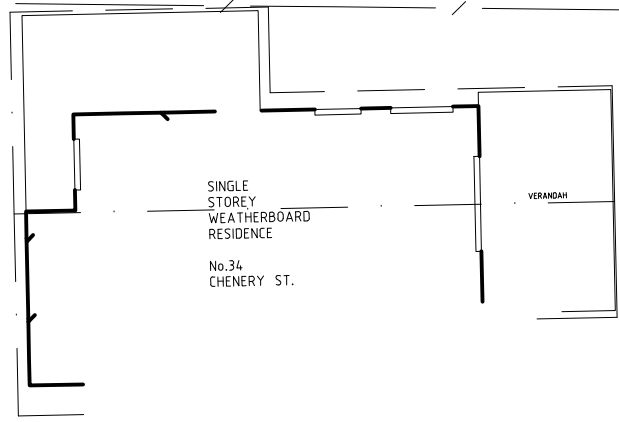
ABN 40 591 495 058

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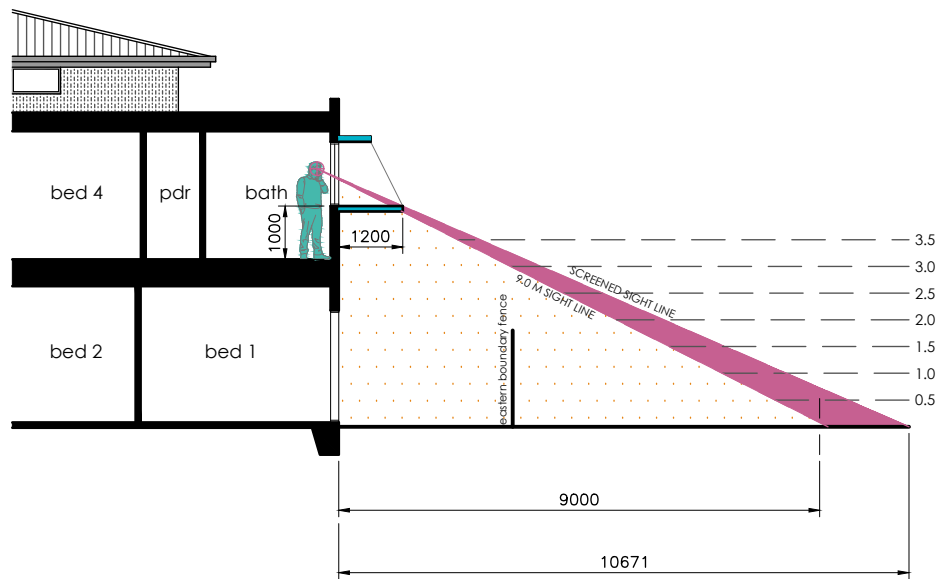


bath rm window - plan

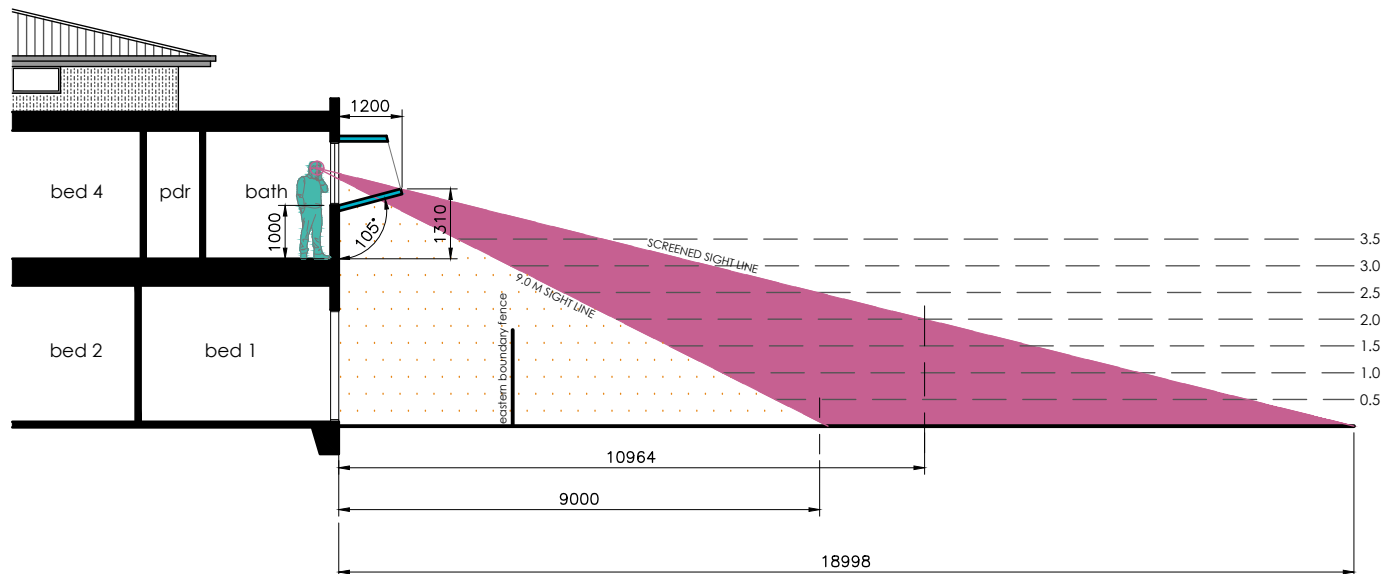


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CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Bath Room Overlooking Plan			
DATE	20th September 2023	DRG No.	TP21
SCALE	1:200	DRAWN	DWT
		REVISION	A



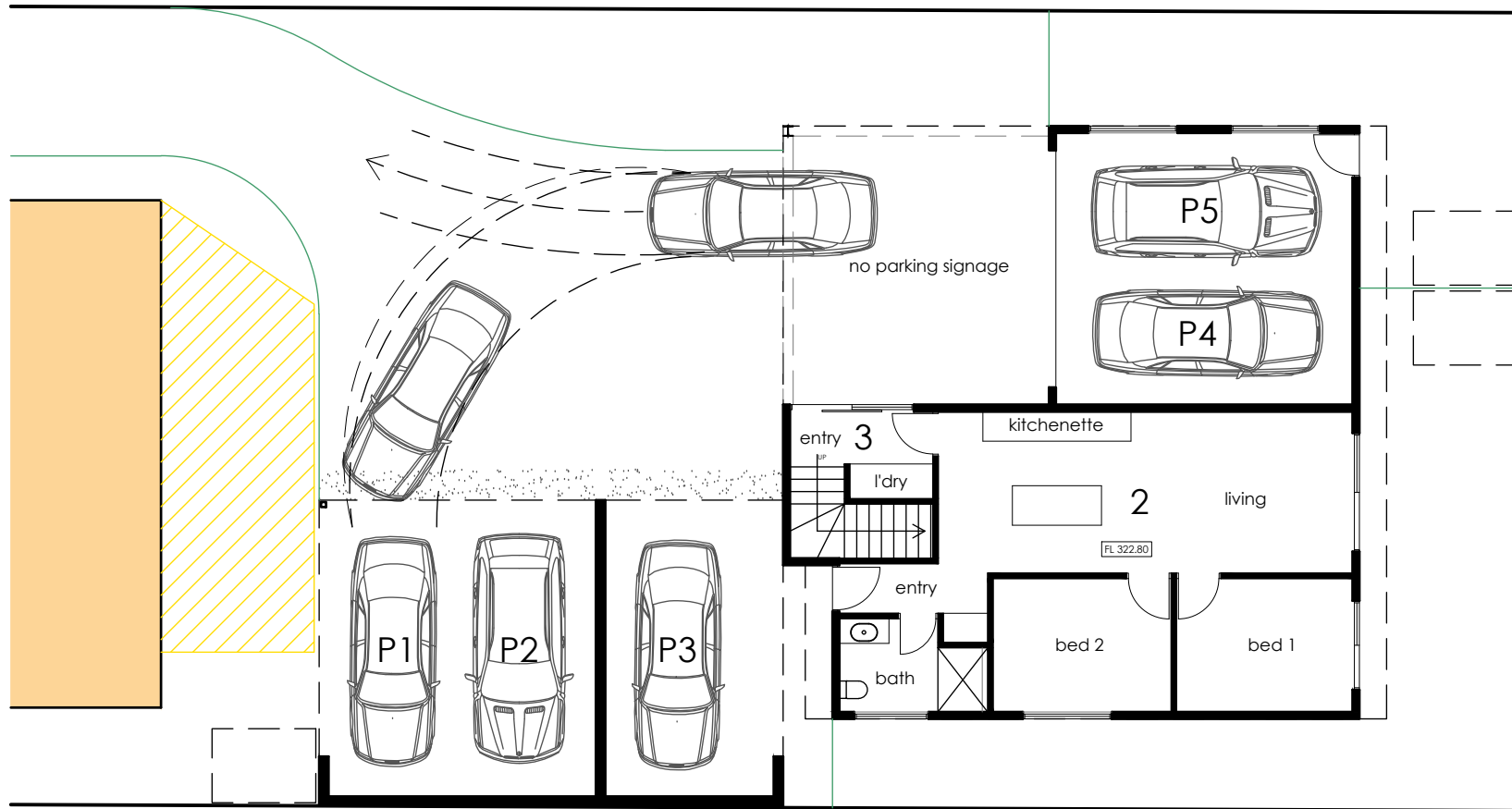


bath rm window - east elevation  
option one scale 1:100



bath rm window - east elevation  
option two scale 1:100

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CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Bath Room Overlooking Cross-section			
DATE	20th September 2023	DRG No.	TP22
SCALE	1:100	DRAWN	DWT
		REVISION	A



P1 - sweep path plan scale 1:100

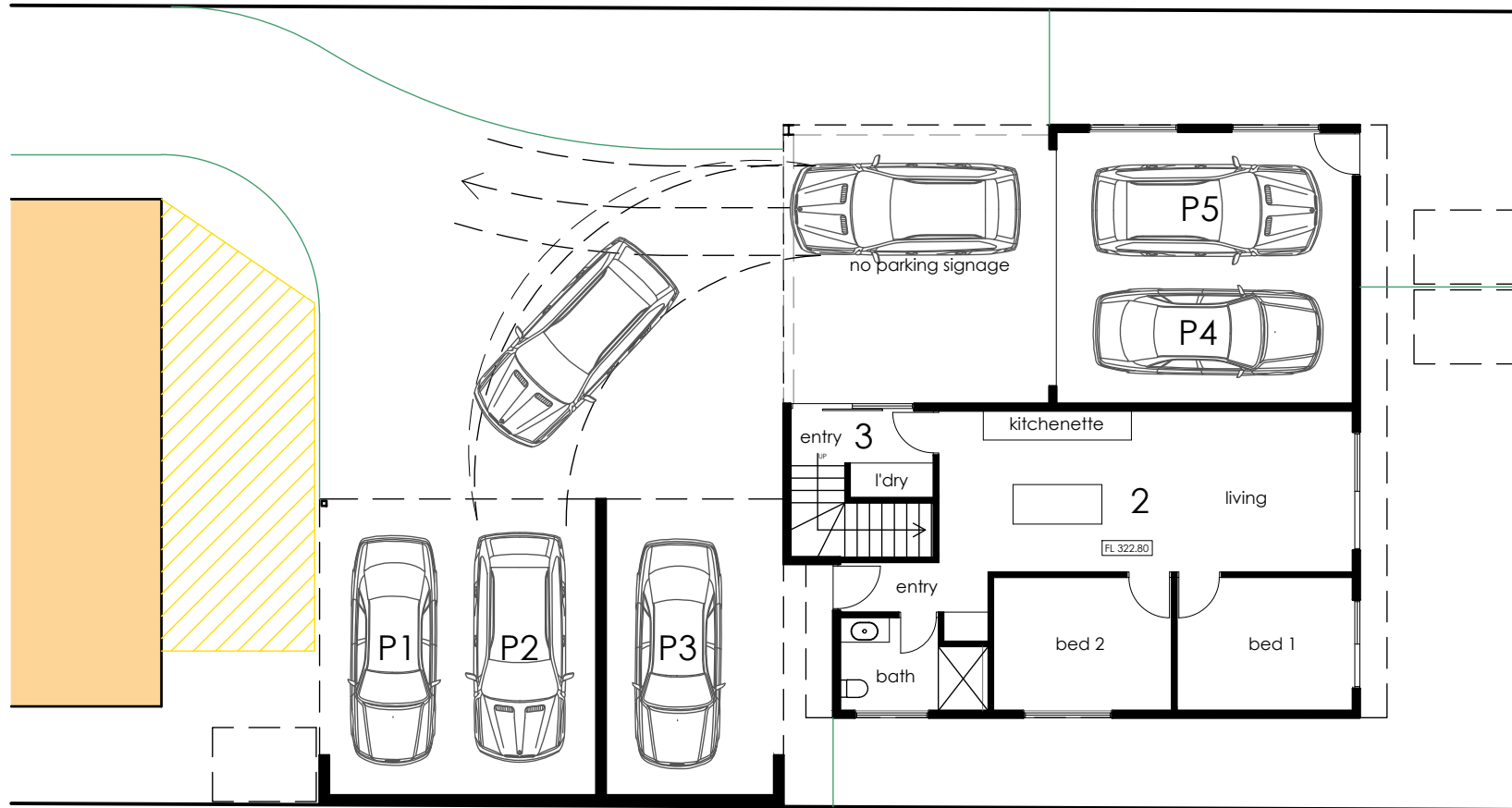
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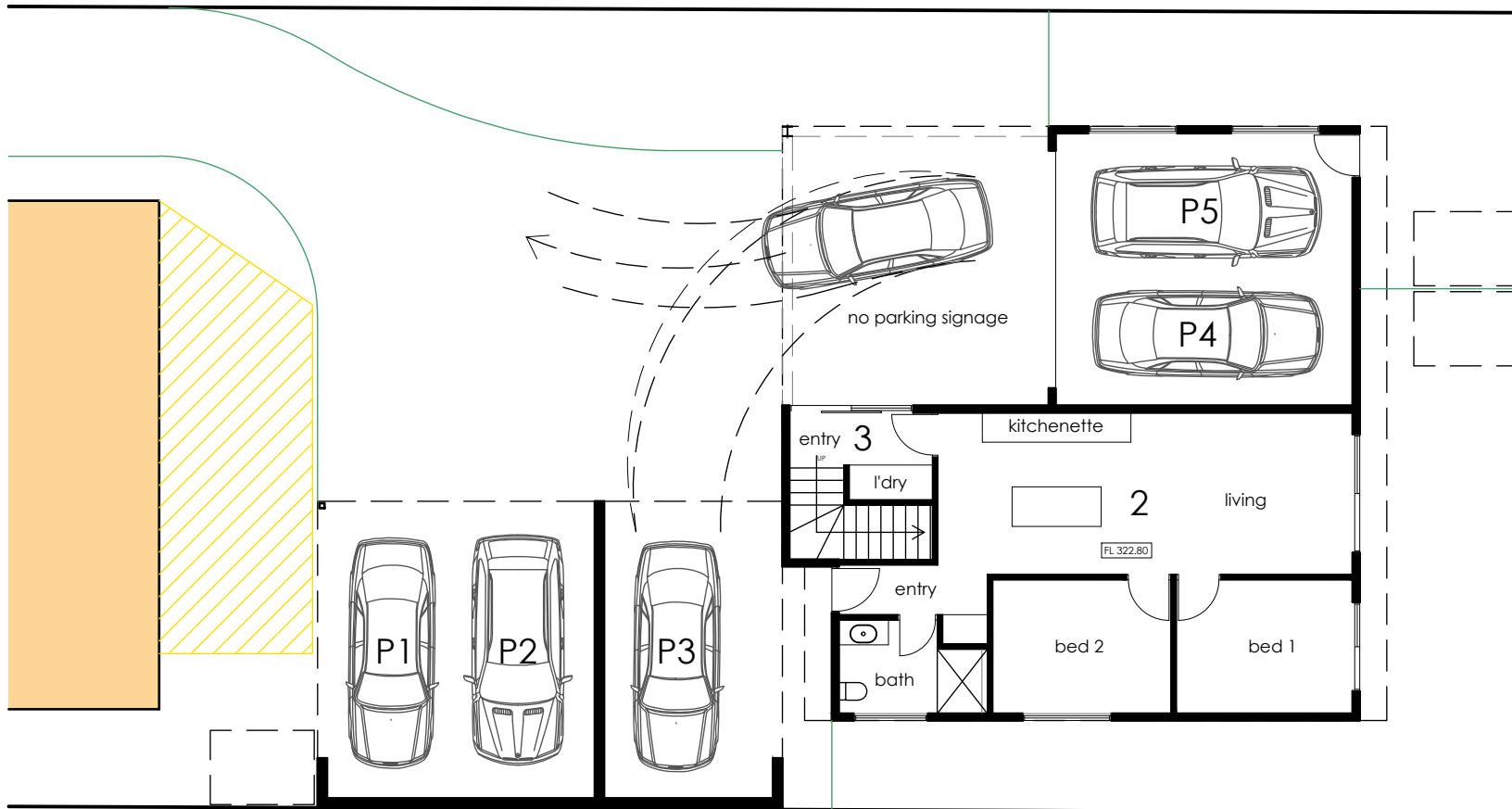
ISSUE: PLANNING CONSULTATIVE MEETING REV.A				
CLIENT: CALLUM BONO				
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722				
PROPOSED 3 DWELLING DEVELOPMENT				
Parking Sweep Paths - P1				
DATE	20th September 2023	DRG No.	TP23	
SCALE	1:100	DRAWN	DWT	REVISION A



P2 - sweep path plan scale 1:100



ISSUE: PLANNING CONSULTATIVE MEETING REV.A				
CLIENT: CALLUM BONO				
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722				
PROPOSED 3 DWELLING DEVELOPMENT				
Parking Sweep Paths - P2				
DATE	20th September 2023	DRG No.	TP24	
SCALE	1:100	DRAWN	DWT	REVISION
				A

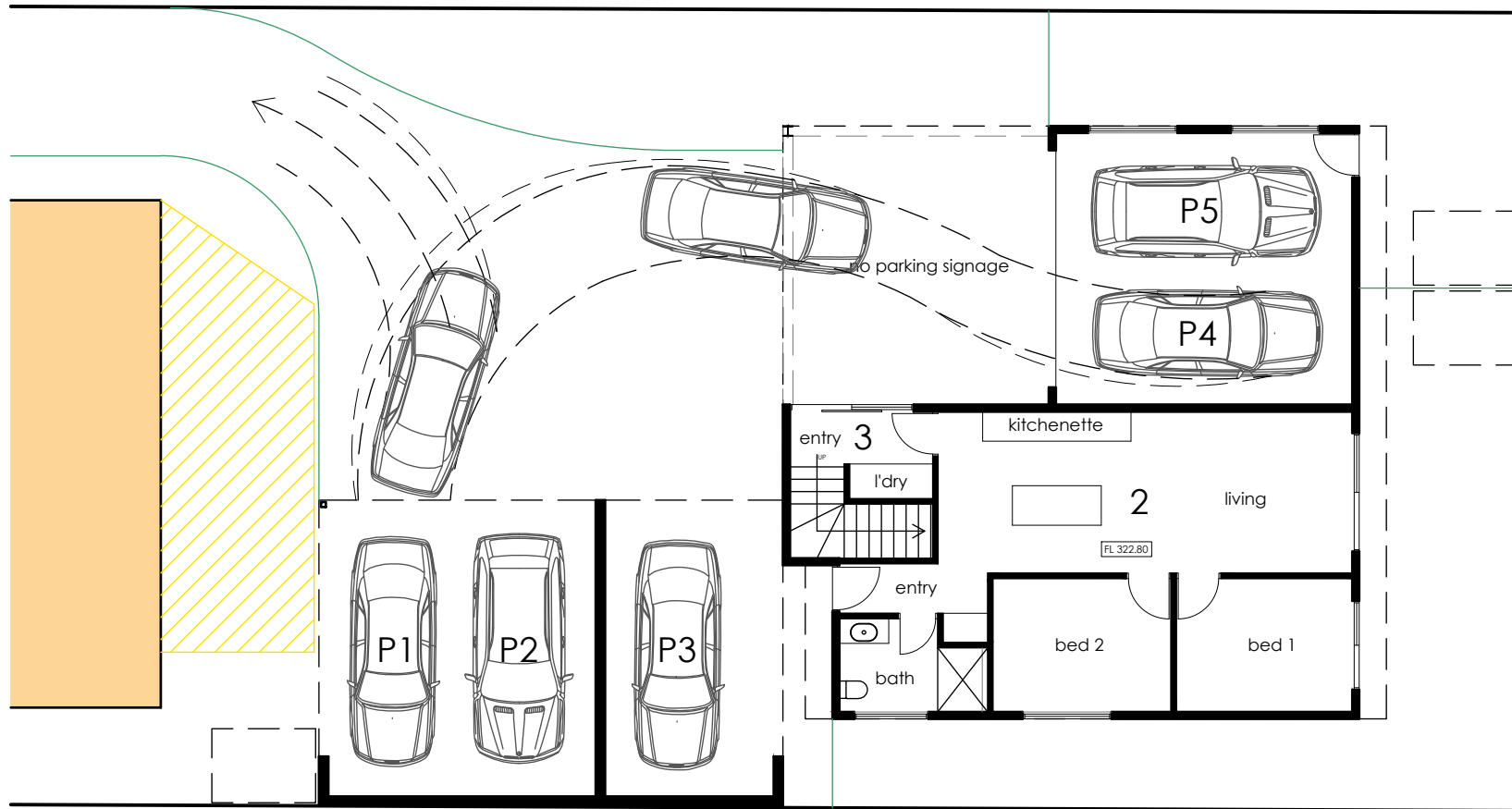


P3 - sweep path plan scale 1:100



ISSUE: PLANNING CONSULTATIVE MEETING REV.A				
CLIENT: CALLUM BONO				
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722				
PROPOSED 3 DWELLING DEVELOPMENT				
Parking Sweep Paths - P3				
DATE	20th September 2023	DRG No.	TP25	
SCALE	1:100	DRAWN	DWT	REVISION
				A

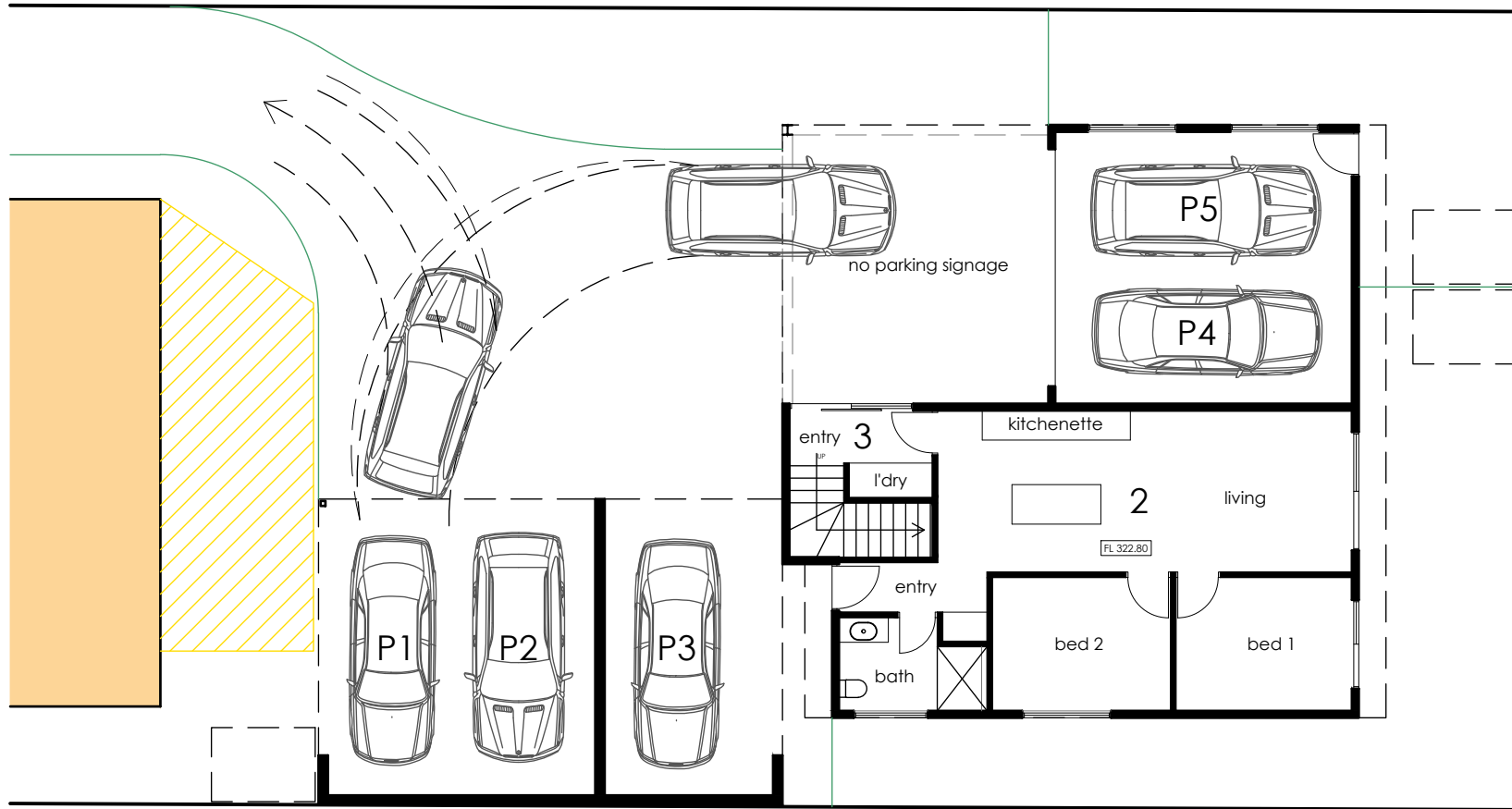




P5 - sweep path plan scale 1:100



ISSUE: PLANNING CONSULTATIVE MEETING REV.A				
CLIENT: CALLUM BONO				
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722				
PROPOSED 3 DWELLING DEVELOPMENT				
Parking Sweep Paths - P4				
DATE	20th September 2023	DRG No.	TP26	
SCALE	1:100	DRAWN	DWT	REVISION A

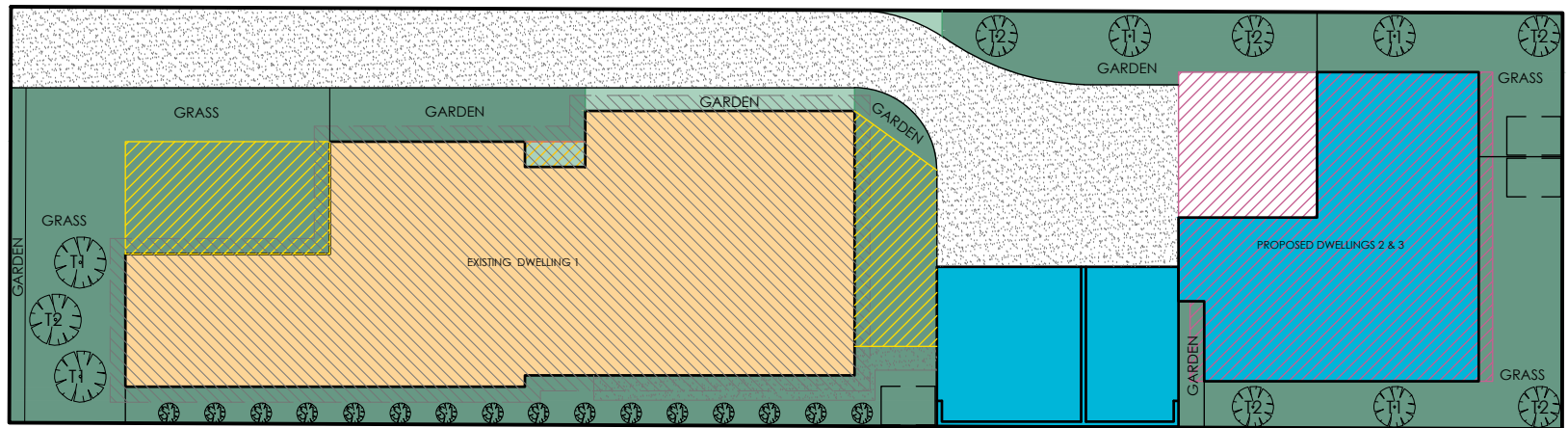


P4 - sweep path plan scale 1:100



ISSUE: PLANNING CONSULTATIVE MEETING REV.A				
CLIENT: CALLUM BONO				
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722				
PROPOSED 3 DWELLING DEVELOPMENT				
Parking Sweep Paths - P5				
DATE	20th September 2023	DRG No.	TP27	
SCALE	1:100	DRAWN	DWT	REVISION
				A

CHENERY STREET



proposed landscape plan scale 1:200

PROPOSED PLANTS SPECIES SCHEDULE

T1 AGONIS 'BURGUNDY'  
WILLOW MYRTLE  
HEIGHT 3-6 METRES @  
MATURITY



T2 EUCALYPTUS CASEIA  
'SILVER PRINCESS' GUM  
HEIGHT 3-6 METRES @  
MATURITY



S1 LEPTOSPERNUM OBOVATUM  
'STARRY NIGHT' TEA TREE  
HEIGHT 2-2.5 METRES @  
MATURITY

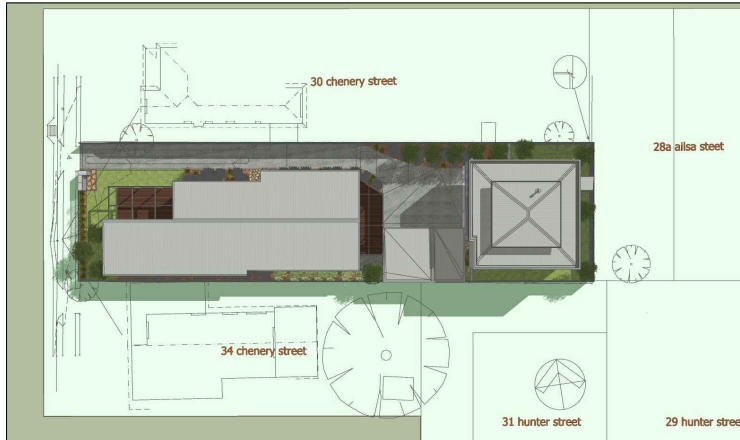
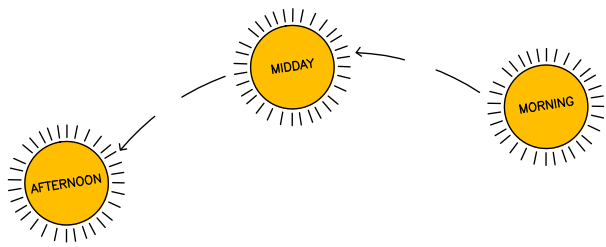


GARDEN BEDS

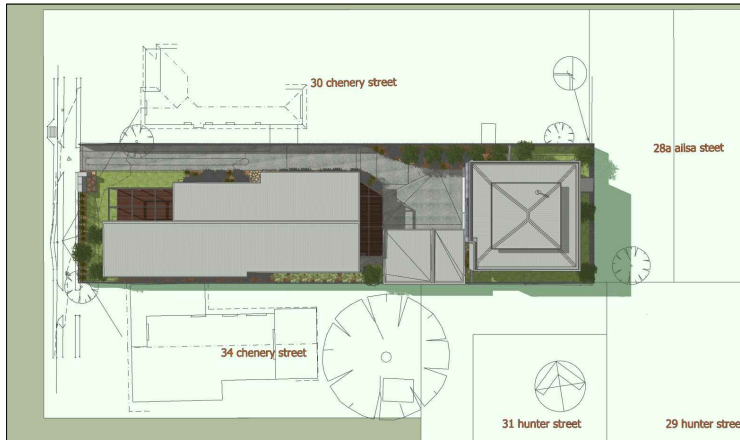
GARDEN BEDS TO BE PLANTED  
WITH A VARIETY OF NATIVE  
GRASSES AND SHRUBS



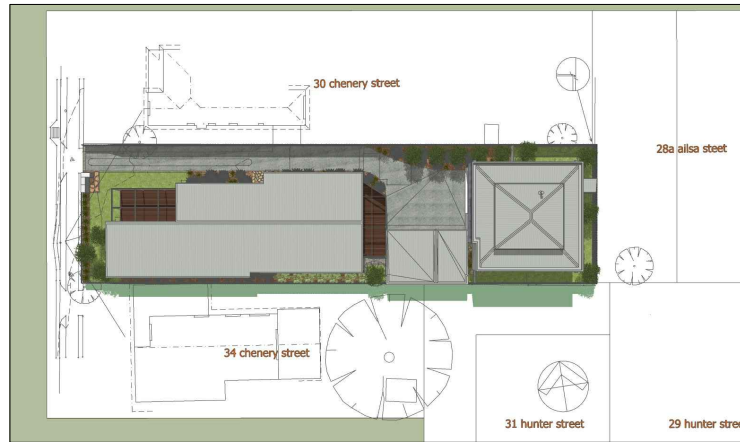
ISSUE: PLANNING CONSULTATIVE MEETING REV.A			
CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Proposed Landscape Plan			
DATE	20th September 2023	DRG No.	TP28
SCALE	1:200	DRAWN	DWT
REVISION			A



9am - shadows



3pm - shadows



midday - shadows



west elevation



south-east elevation



north-east elevation



internal west elevation



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CLIENT: CALLUM BONO			
ADDRESS: 32 CHENERY STREET, MANFIELD VIC 3722			
PROPOSED 3 DWELLING DEVELOPMENT			
Revised Colours and Shadow Diagrams			
DATE	20th September 2023	DRG No.	TP29
SCALE	1:200	DRAWN	DWT
		REVISION	A