

Section 72 Amendment

Delegate Assessment Report



File Number: DA4422
Planning Application No. P0044A/06
Responsible Officer: Sehaj Bath
Attachments: OUT22/7054 Plans for endorsement

Conflict of Interest

After reading the definitions of a general or material conflict of interest as defined by the *Local Government Act 2020*, do you have a conflict of interest?

Yes

(if YES, please complete a Conflict of Interest and Declaration Making Declaration form)

No

<i>Application Details</i>	
APPLICANT	Anna Panksovskaja – Templeton Architecture
PROPOSAL	Development of alterations and additions to an existing dwelling
PROPOSED AMENDMENT	Works associated with alteration of and extension to the size and design of the existing dwelling
APPLICATION LODGED	23 December 2021
STATUTORY DAYS	11 (as at 15 March 2022)
NOTICE AND SUBMISSIONS	Not advertised as the proposal is considered unlikely to cause material detriment to any person.
<i>Property Details</i>	
PROPERTY ADDRESS	646 Old Tolmie Road Barwite
LAND DESCRIPTION	Lot 1 PS547465C
RESTRICTIVE COVENANTS	None
LAND AREA	76.17 hectares

EXISTING USE	Existing dwelling and associated outbuilding, balance of land used for agricultural purposes.
<i>Planning Provisions</i>	
ZONE	Clause 35.07 Farming Zone
OVERLAYS	Clause 42.01 Environment Significance Overlay Schedule 2 Clause 44.04 Bushfire Management Overlay
PARTICULAR PROVISIONS	Clause 53.02 Bushfire Planning
<i>New Permit Triggers</i>	
CLAUSE 42.01 (ESO1)	For works associated with a dwelling on more than 40ha lot where no LCA is prepared.
CLAUSE 44.06-2 (BMO)	To construct a building or construct or carry out works associated with accommodation.
<i>Other</i>	
CULTURAL SENSITIVITY	Partially. A slither at the southern end of the property, about 1 km south of the location of works.

BACKGROUND

Planning Permit history

A planning permit P0044/06 was issued for the subject lot on 28 April 2006 under delegation for Extension to an existing dwelling.

Has the permit expired: No, as the development was completed within the timeframe.

Expiry date of the permit: The development and use are not started before 28 April 2008.

The development is not completed before 28 April 2010.

Section 72 Amendment Proposal

An application for an amendment has been lodged with Council for consideration. The applicant proposes to amend the development approved for P0044/06 as follows:

- Alter the internal layout of the southern building by demolishing kitchen and changing the entry to bathroom.
- Significantly alter the north building layout to change to kitchen-living-dining, pantry, powder room and mudroom.
- Extend the northern building to include an external dining area, bathroom, two bedrooms, study, decking and pool.
- The gross floor area of the alteration and extension are greater than 50% of that of the

existing buildings in total.

- The extended part of the building will be 5.2 m in height and will be constructed with Brick Veneer Cladding.

CONSULTATION

Referral Responses

The application was referred to Ausnet, Goulburn Murray Water (GMW) and Country Fire Authority (CFA) who provided their conditional consent.

Advertising

The application was not advertised as it is considered that the proposed amendments to the approved development will not detrimentally impact the adjoining properties, due to the distance from other nearby dwellings and that the works are an extension of an existing dwelling rather than a new dwelling.

MANSFIELD PLANNING SCHEME CONTEXT AND ASSESSMENT

Planning Permit Triggers

The original planning permit application was triggered under the following clauses of the Mansfield Planning Scheme. The wording is taken from the delegate report prepared at that time. Content Manager Reference number is OUT06/3042.

Farming Zone	The construction of the extension to the dwelling (doubling the size) in the FZ requires planning approval.
Environmental Significance Overlay 3 (Lake Nillahcootie Catchment)	All buildings and works require planning approval due to the Overlay.

Changes to the Mansfield Planning Scheme

15 years have elapsed since the issuance of original permit during which Planning Scheme has been significantly updated. The proposed alterations and extensions trigger the requirement of amending the existing planning permit for the property under the following clauses:

Clause 42.01 (ESO1)	For works associated with a dwelling on more than 40ha lot where no LCA is prepared.
Clause 44.06-2 (BMO)	To construct a building or construct or carry out works associated with accommodation.

Planning Assessment

The Planning Policy Framework seeks to ensure that the objectives of planning in Victoria (as set out in Section 4 of the Planning and Environment Act 1987) are fostered through appropriate land use and development planning policies and practices which integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development.

The ambit of discretion relates to the concerns resulting from the proposed alterations of and extension to the size and design of the existing dwelling. The following Planning Policies and Objectives are relevant to this application:

Clause 13.02-1S Bushfire

Objective:

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

This policy must be applied to all planning decisions relating to land within a designated bushfire prone area.

Officer response: The applicant submitted a Bushfire Management Statement to demonstrate how the development responds to bushfire requirements related to defendable space, construction standards, water supply and access. The application has received a conditional consent from CFA.

Clause 14.02-1S Catchment planning and management

Objective:

To assist the protection and restoration of catchments, water bodies, groundwater, and the marine environment.

Strategies to address this objective include to:

- *Ensure the continued availability of clean, high-quality drinking water by protecting water catchments and water supply facilities.*
- *Undertake measures to minimise the quantity and retard the flow of stormwater from developed areas.*
- *Ensure planning is coordinated with the activities of catchment management authorities.*
- *Ensure that water quality infrastructure is designed to minimise risk of harm to surface waters and groundwater.*

Officer response: The proposal will result into additional two bedrooms, producing more wastewater than the existing development. No information was provided regarding the suitability of the existing wastewater management system to the proposed development. However, due to the significant size of the property and generous setback of the development from nearest water features, it is considered that altering/upgrading existing system (if required) will be satisfactorily achievable. It is considered that the proposal will not risk the protection and restoration of catchments, water bodies and ground water. The application has received a written consent from Goulburn Murray Water.

Additional stormwater will be managed through permit conditions by requiring the stormwater to be directed into water tanks and overland flow be minimised and directed appropriately.

Clause 21.05-3 Water catchment planning

Objective:

Recognise and protect the environmental significance of the Special Water Supply Catchments.

Strategies include:

- Prevent development in the catchment that is detrimental to water quality.
- Discourage land uses in the upper catchments of the Broken, Goulburn, Howqua, Delatite and Big Rivers that would contribute to the degradation of downstream water quality.
- Improve the quality of urban stormwater entering the catchment.

Officer response: It is considered that the subject land, due to its size and development location, can satisfactorily accommodate the additional wastewater and alteration/upgradation of the existing system (if required). The proposal has received a conditional consent from Goulburn Murray Water. It is considered that the in compliance with the permit conditions the proposal will not detrimentally impact the water quality of the catchment.

Clause 21.06-3 Bushfire

Objective:

To strengthen community resilience to bushfire by ensuring that bushfire protection measures are considered.

Officer's comment: The proposed extension will be built to Bushfire Attack Level – 29, will have defendable space of 48 m around the dwelling, and will utilise the existing infrastructure like access, turning circle and water supply. Assessment under Clause 53.02 discusses the proposal's compliance with the bushfire protection measures.

Clause 22.04 Managing Water Quality in Special Water Supply Catchments

Clause 22.04 has been added to the Local Planning Policy Framework under amendment C36, recognising that over 95% of the Shire lies within a declared catchment. The amendment also reconfigures the Environmental Significance Overlay schedules to focus on medium and high risk catchment areas. The primary objectives of the clause are:

- *To reduce the potential for domestic wastewater, particularly in unsewered areas, to cause cumulative impacts on public health, water quality and catchment health by implementing the recommendations of the Mansfield Shire Domestic Wastewater Management Plan 2014 (as amended).*

Officer response: As explained before.

Clause 35.07 Farming Zone

Officer Response: The proposal is for works associated with the existing dwelling on a lot greater than 40 hectares in size that meets all required setbacks. The proposed amendment does not trigger a requirement under this Clause.

Clause 42.01 Environmental Significance Overlay- Catchments at High Risk of Water Quality Impacts- ESO1

Purpose:

- *To identify areas where the development of land may be affected by environmental constraints.*
- *To ensure that development is compatible with identified environmental values.*
- *In catchments identified as being at high risk of water quality impacts, the environmental objective to be achieved is to discourage development and works that potentially contribute to the degradation of water quality and quantity.*

Officer Response: The proposal will result in additional two bedrooms on a 55 hectares allotment. No Land Capability Assessment was provided with the application, due to which a planning permit is triggered under Clause 42.01 Environmental Significance Overlay. The application was referred to GMW who provided a conditional consent requiring the alterations and/or upgrade (if warranted) to the existing wastewater management system in accordance with the EPA Code of Practice – On site Wastewater Management (including setbacks from water features) and to the satisfaction of Council’s Environmental Health Officer.

It is considered that the proposal can address the requirements of local policy (Clause 22.04) to reduce the potential for domestic wastewater, particularly in un-sewered areas, to cause cumulative impacts on public health, water quality and catchment health. It is considered that the proposed scope of works will result in an outcome where on site wastewater management can be satisfactorily addressed within the boundaries of the site.

Clause 44.06 Bushfire Management Overlay

Purpose:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework*
- *To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.*
- *To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.*
- *To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.*

Officer Response: A planning permit is triggered to construct a building and carry out works associated with accommodation. The proposed alteration of and extension to the existing dwelling utilises the existing infrastructure for access, turning circle and water supply and proposes revised BAL and defensible space. The application was referred to Country Fire Authority who provided a conditional consent. It is considered that the proposal satisfactorily addresses the bushfire protection measures outlined in Clause 53.02 of the planning scheme and reduces the risk to an acceptable level.

Clause 53.02 Bushfire planning

Purpose:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.*
- *To ensure that the location, design and construction of development appropriately responds to the bushfire hazard.*
- *To ensure development is only permitted where the risk to life, property and community infrastructure from bushfire can be reduced to an acceptable level.*
- *To specify location, design and construction measures for a single dwelling that reduces the bushfire risk to life and property to an acceptable level.*

Accompanying this application is a Bushfire Hazard Landscape Assessment, Bushfire Hazard Site Assessment and Bushfire Management Statement as required by Clause 44.06. This assessment has characterised surrounding vegetation as 'grassland' and 'forest', with subsequent impacts on the defensible space and BAL construction standards required. This assessment is reflective of vegetation characteristics based on the criteria of AS3959-2018. The BMO Technical Guide identifies four landscape types in which to assess landscape risk (with 1 being the lowest and 4 being the highest risk). The BHLA has characterised the landscape risk to the subject land as being within a Type 3 landscape.

Type 3 landscapes are defined as:

- *The type and extent of vegetation located more than 150 metres from the site may result in neighborhood-scale destruction as it interacts with the bushfire hazard on and close to a site.*
- *Bushfire can approach from more than one aspect.*
- *The site is located in an area that is not managed in a minimum fuel condition.*
- *Access to an appropriate place that provides shelter from bushfire is not certain.*

Based on the land area of the site and proposed development site, it is evident that defensible space and BAL construction standards can be met in accordance with Clause 53.02-5. The Bushfire Management Plan specifies that a BAL of 29 is appropriate for the site, having regard to the vegetation types around the development site and associated risk. The defensible space proposed can be practically implemented on the land. The proposal will utilise the existing infrastructure associated with access, turning circle and water supply.

As the subject land is located within the Farming Zone, the requirements of Clause 53.02-4 (Pathway 2) apply. This requires the Responsible Authority to consider the following measures:

Clause 53.02-4 – Bushfire protection objective

Clause 53.02-4.1 – Landscape, siting and design objectives

- *Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.*
- *Development is sited to minimise the risk from bushfire.*
- *Development is sited to provide safe access for vehicles, including emergency vehicles.*
- *Building design minimises vulnerability to bushfire attack.*

This clause provides a series of approved measures which typically indicate that the objective has been met for the proposal; including:

Measure	Requirement
AM 2.1	The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.
AM 2.2	A building is sited to ensure the site best achieves the following: <ul style="list-style-type: none"> ▪ The maximum separation distance between the building and the bushfire hazard. ▪ The building is in close proximity to a public road. ▪ Access can be provided to the building for emergency service vehicles.
AM 2.3	A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.

The proposed alterations and extensions to the existing dwelling utilizes the existing location, emergency vehicle access, water supply. Bushfire risk to the site is mitigated to an acceptable level by the provision of suitable defensible space on site. The works are suitably designed to minimize bushfire risk, by minimizing the areas where fuel can build up which will reduce the impact of any fire event on the building. The requisite water supply and BAL ratings have been incorporated into the Bushfire Management Plan for approval.

Based on the above, approved measures 2.1-2.3 are considered to be met and the underlying objectives have been achieved.

Clause 53.02-4.2 – Defendable space and construction objectives

- *Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.*

Measure	Requirement
AM 3.1	<p>A building used for a dwelling (including an extension or alteration to a dwelling), a dependent person's unit, industry, office or retail premises is provided with defendable space in accordance with:</p> <ul style="list-style-type: none"> ▪ Table 2 Columns A, B or C and Table 6 to Clause 53.02-5 wholly within the title boundaries of the land; or ▪ If there are significant siting constraints, Table 2 Column D and Table 6 to Clause 53.02-5. <p>The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.</p>

The application has calculated defendable space requirements based on Column C of Table 2 to Clause 53.02-5, which is provided wholly within the site. The applicant has proposed to provide defendable space and the construction level as per the table. It is therefore considered that the approved measure has been met.

Clause 53.02-4.3 – Water supply and access objectives

- *A static water supply is provided to assist in protecting property.*
- *Vehicle access is designed and constructed to enhance safety in the event of a bushfire*

Measure	Requirement
AM 4.1	<p>A building used for a dwelling (including an extension or alteration to a dwelling), a dependent person's unit, industry, office or retail premises is provided with:</p> <ul style="list-style-type: none"> ▪ A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5. ▪ Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5. <p>The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.</p>

The proposal will utilize a static water supply in accordance with Table 4 to Clause 53.02-5, and vehicular access in accordance with Table 5. There are no concerns regarding these items or the practicality of each.

Clause 53.02-4.5 – Decision Guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The bushfire hazard landscape assessment, the bushfire hazard site assessment and the bushfire management statement submitted with the application.*
- *The impact of any State, regional or local bushfire management and prevention actions occurring around the site and in the wider area on the bushfire hazard and the level of risk to the proposed development.*
- *Whether the proposed development meets the objectives of Clause 53.02-4 regardless of other measures which may be available, including private bushfire shelters, community shelters and the presence of places of last resort.*
- *Whether the proposed measures can be practically implemented and maintained in conjunction with the ongoing use of the land.*
- *Whether the use of an alternative measure meets the relevant objective having regard to the bushfire hazard and the nature of any constraint that prevents the applicable approved measure from being implemented.*
- *If one or more of the objectives in Clause 53.02-4 will not be achieved in the completed development, whether the development will, taking all relevant factors into account, reduce the bushfire risk to a level that warrants it proceeding.*
- *Whether the risk arising from the broader landscape can be mitigated to an acceptable level or warrants the development not proceeding.*

The decision guidelines of this Clause provide that a development can still be supported, even if one or more objectives are not met; having regard to the overall risk profile of the development. While it is trite to observe that the subject site is not immune from bushfire risk, the proposed mitigation measures captured through this development provide an appropriate level of defense and land management measures to ensure that the risk is reduced to an acceptable level.

For these reasons, it is considered that the proposal satisfactorily addresses bushfire risk to the site.

Clause 65.01 Approval of an application

The proposal is compliant with all the relevant decision guidelines of this clause.

CONCLUSIONS

The proposed alterations and extensions to the existing dwelling at 646 Old Tolmie Road Barwite is considered to satisfy the provisions of the Mansfield Planning Scheme under which planning permit is triggered, which is, Environmental Significance Overlay and Bushfire Management Overlay. It is considered that subject to appropriate planning permit conditions, the proposal will achieve the desired planning outcomes.

OFFICER RECOMMENDATION

That Council, having considered all matters under Section 60 of the *Planning and Environment Act 1987*, determine to issue Amended Planning permit P0044A/06 for the Development of alterations and additions to an existing dwelling on **Lot 1 PS547465C**, commonly addressed as

646 Old Tolmie Road Barwite in accordance with the endorsed plans and subject to the following conditions:-

Endorsed Plans

1. The development must be in accordance with the endorsed plans forming part of this permit and must not be altered without the prior written consent of the Responsible Authority.

External Cladding

2. The external materials of the buildings, including the roof, must be constructed of materials of muted colours to protect the aesthetic amenity of the area. No materials having a highly reflective surface must be used.

For the purpose of this clause "highly reflective" includes unpainted or untreated aluminium, zinc or similar materials.

Engineering

3. Interrupted overland flow from this development must not be allowed to impact on the adjacent lots, to the satisfaction of the Responsible Authority.
4. Before an Occupancy Permit is issued for the dwelling hereby permitted, or by such later date as is approved by the Responsible Authority in writing, the following works must be completed in accordance with the endorsed plans and to the satisfaction of the Responsible Authority:
 - a) All stormwater discharging from the site, buildings and works must be discharged to a water tank, soakwell or otherwise discharged so as not to cause erosion, flooding or nuisance to the subject or surrounding land to the satisfaction of the Responsible Authority. The water tank/s (if required) must be in muted, non reflective tones to the satisfaction of the Responsible Authority.

Goulburn Murray Water

5. All construction and ongoing activities must be in accordance with sediment control principles outlined in 'Construction Techniques for Sediment Pollution Control' (EPA, 1991).
6. All wastewater from the dwelling extension must be disposed of via connection to the existing wastewater management system. If necessary, the system must be altered and/or upgraded in accordance with the current EPA Code of Practice – Onsite Wastewater Management, and to the satisfaction of Council's Environmental Health Department.

Mandatory Bushfire Condition

7. The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a

continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

Country Fire Authority

8. Before the development starts, the Bushfire Management Plan prepared by Taylor Consulting Engineers Rev 1 dated 17/12/21 must be endorsed by the Responsible Authority. Once endorsed the plan must not be altered unless agreed to in writing by CFA and the Responsible Authority.

Permit Expiry

9. This permit will expire if one of the following circumstances applies:
 - a) The buildings and works have not substantially commenced within two (2) years of the date of this permit.
 - b) The development is not completed within four (4) years of the date of this permit.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

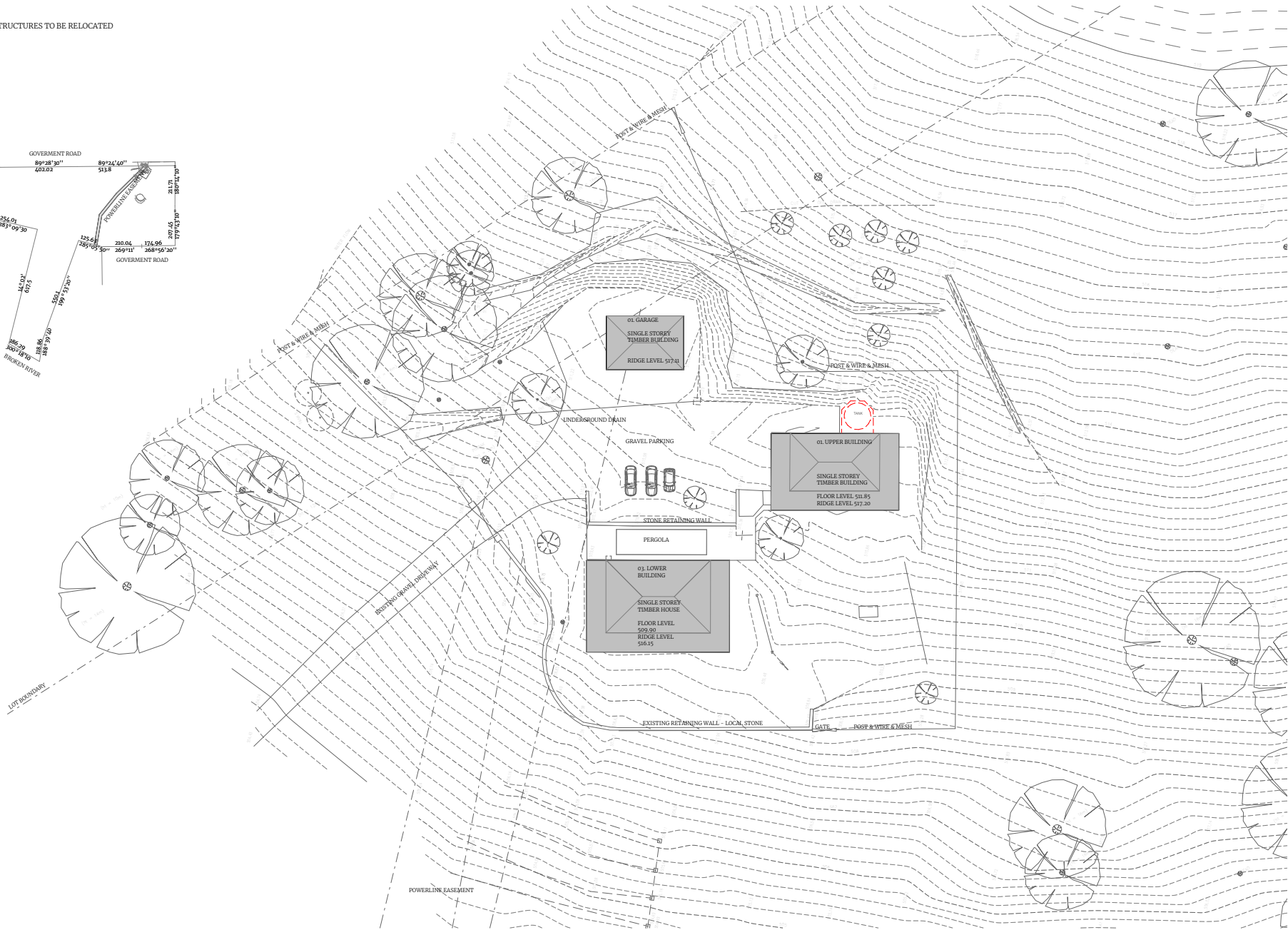
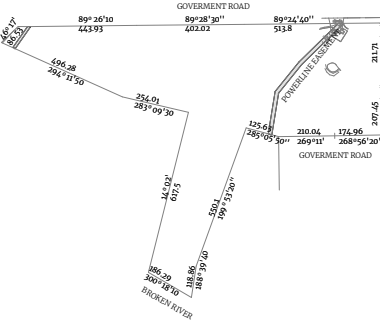
Where an amended permit is issued allowing for further development, the expiry provisions for those works will commence from the date of issue of the amended permit.

Date of amendment	Brief description of amendment	Responsible Authority
	This permit has been amended pursuant to Section 74 of the <i>Planning and Environment Act 1987</i> , having regard to the following: <ol style="list-style-type: none"> (a) Permit preamble updated to state '<i>Development of alterations and additions to an existing dwelling</i>'. (b) Previous endorsed plans superseded and new plans endorsed. (c) Previous conditions deleted and new permit conditions imposed. 	Mansfield Shire Council

GRAPHIC LEGEND

- EXISTING BUILDINGS TO BE RETAINED
- EXISTING STRUCTURES TO BE RELOCATED

KEY PLAN



EXISTING SITE COVERAGE:

LOWER HOUSE:	226.4m ²
UPPER HOUSE:	168.9m ²
GARAGE:	71.7m ²
TOTAL:	467.0m²

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TOWN PLANNING

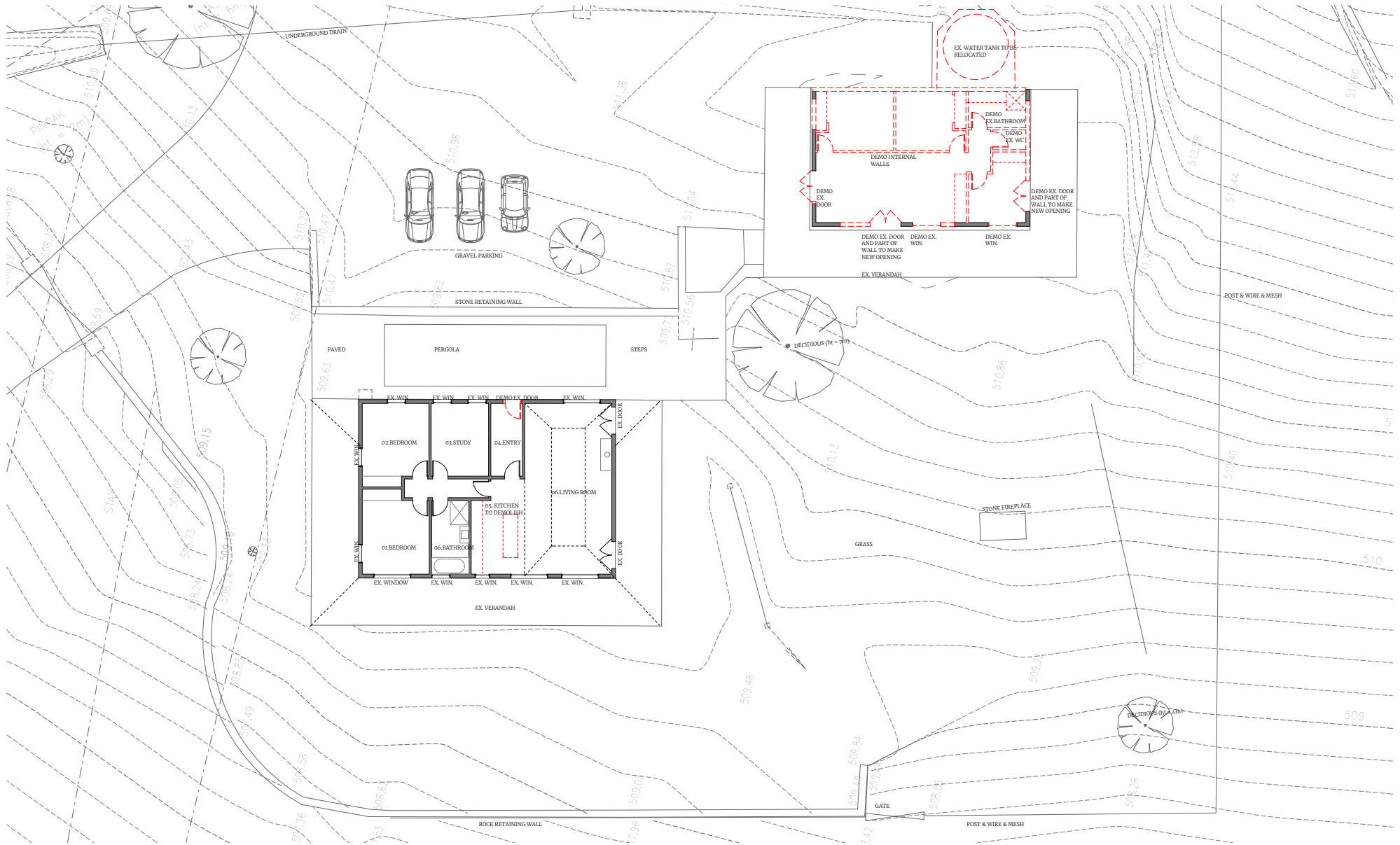
EXISTING SITE PLAN
 Old Tolmie Road

DRAWING NO. TP 02

PROJECT NO. TA22109
 DATE 18.02.21 REVISION

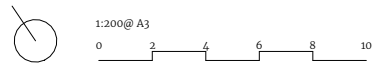
GRAPHIC LEGEND

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED



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TOWN PLANNING

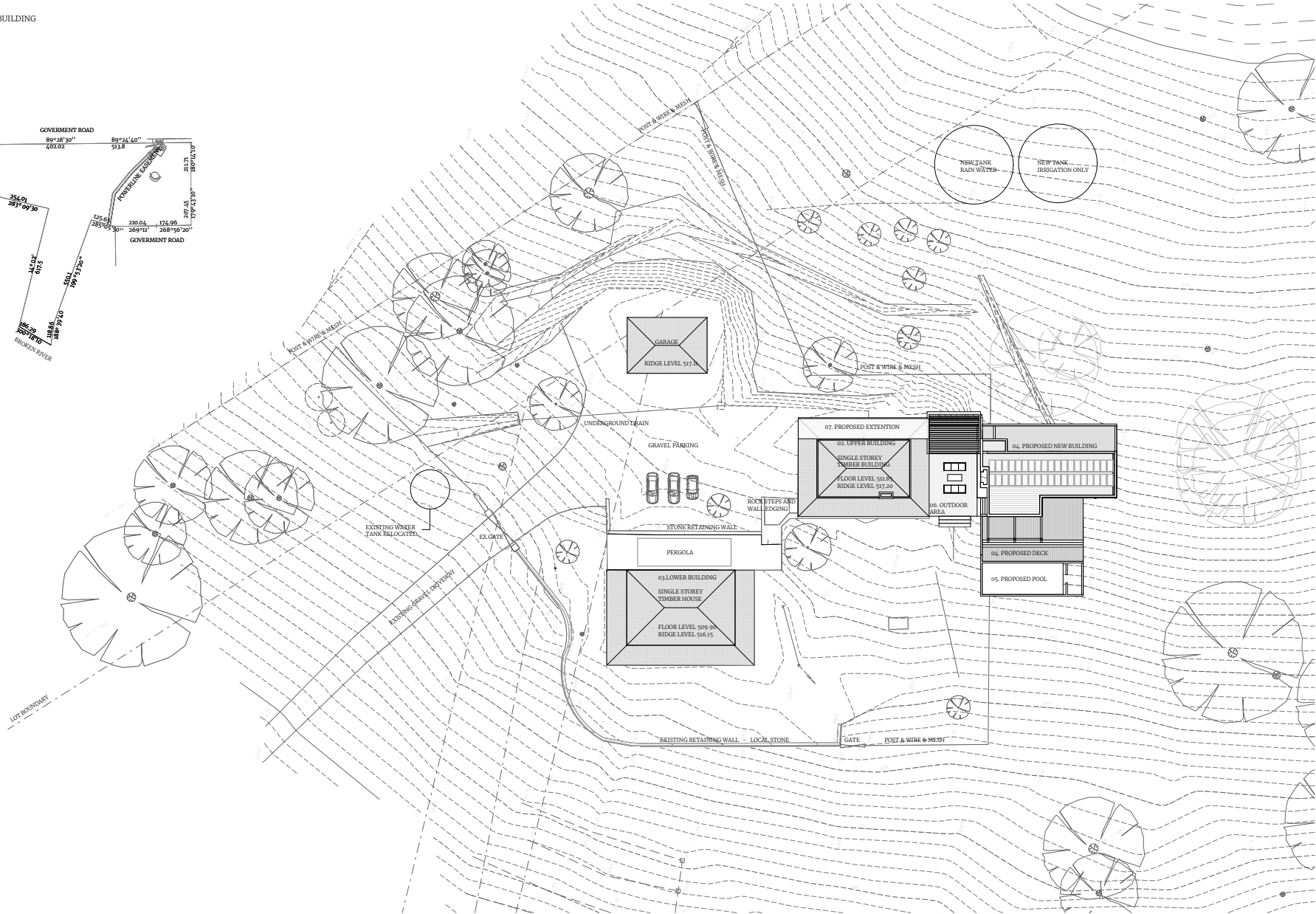
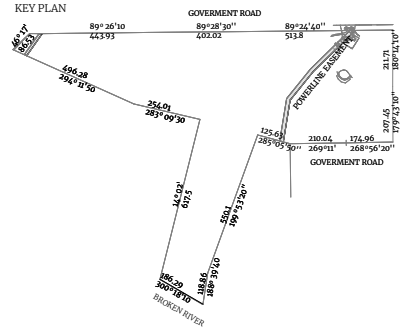
EXISTING+ DEMO PLAN
 Old Tolmie Road

DRAWING NO. TP 03

PROJECT NO. TA22109
 DATE 18.02.21 REVISION

GRAPHIC LEGEND

- EXISTING BUILDINGS TO BE RETAINED
- PROPOSED BUILDING



DEVELOPMENT SUMMARY

SUBJECT SITE
646 OLD TOLMIE ROAD | BARWITE | 3722

LOT & PLAN No: Lot 1 PS547465
SITE AREA: 55.68 Ha

EXISTING SITE COVERAGE:
LOWER HOUSE: 226.4m²
UPPER HOUSE: 168.9m²
GARAGE: 71.7m²

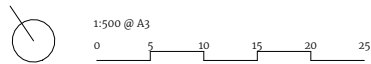
TOTAL: 467.0m²

PROPOSED SITE COVERAGE:
LOWER HOUSE: 226.4m²
UPPER HOUSE: 205.9m²
PROPOSED HOUSE: 122.0m²
GARAGE: 71.7m²

TOTAL: 626.0m²

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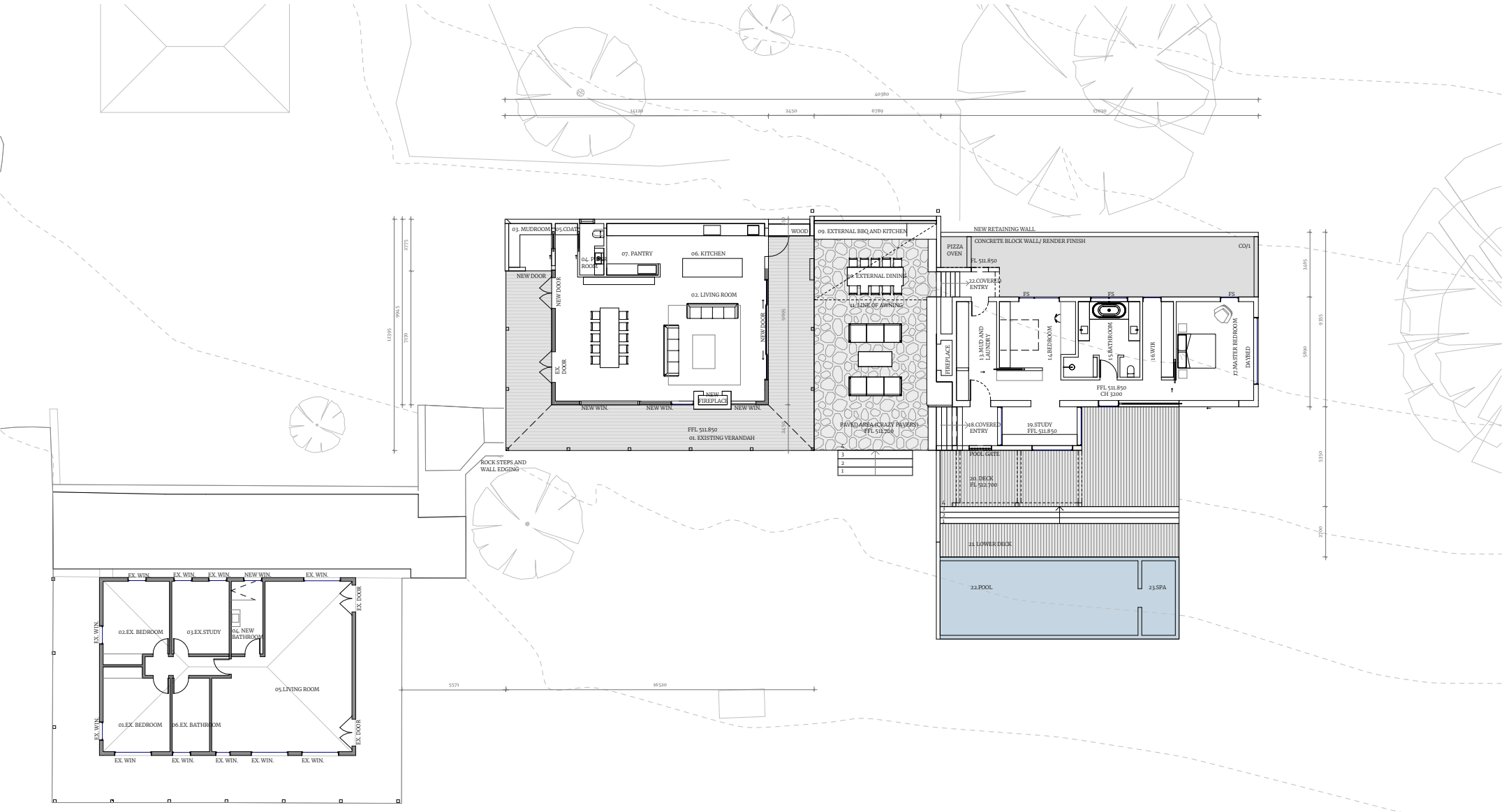
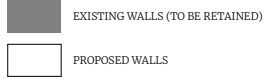
TOWN PLANNING

PROPOSED SITE PLAN
Old Tolmie Road

DRAWING NO. TP 04

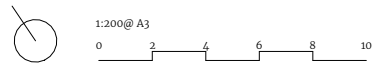
PROJECT NO. TA22109
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GRAPHIC LEGEND



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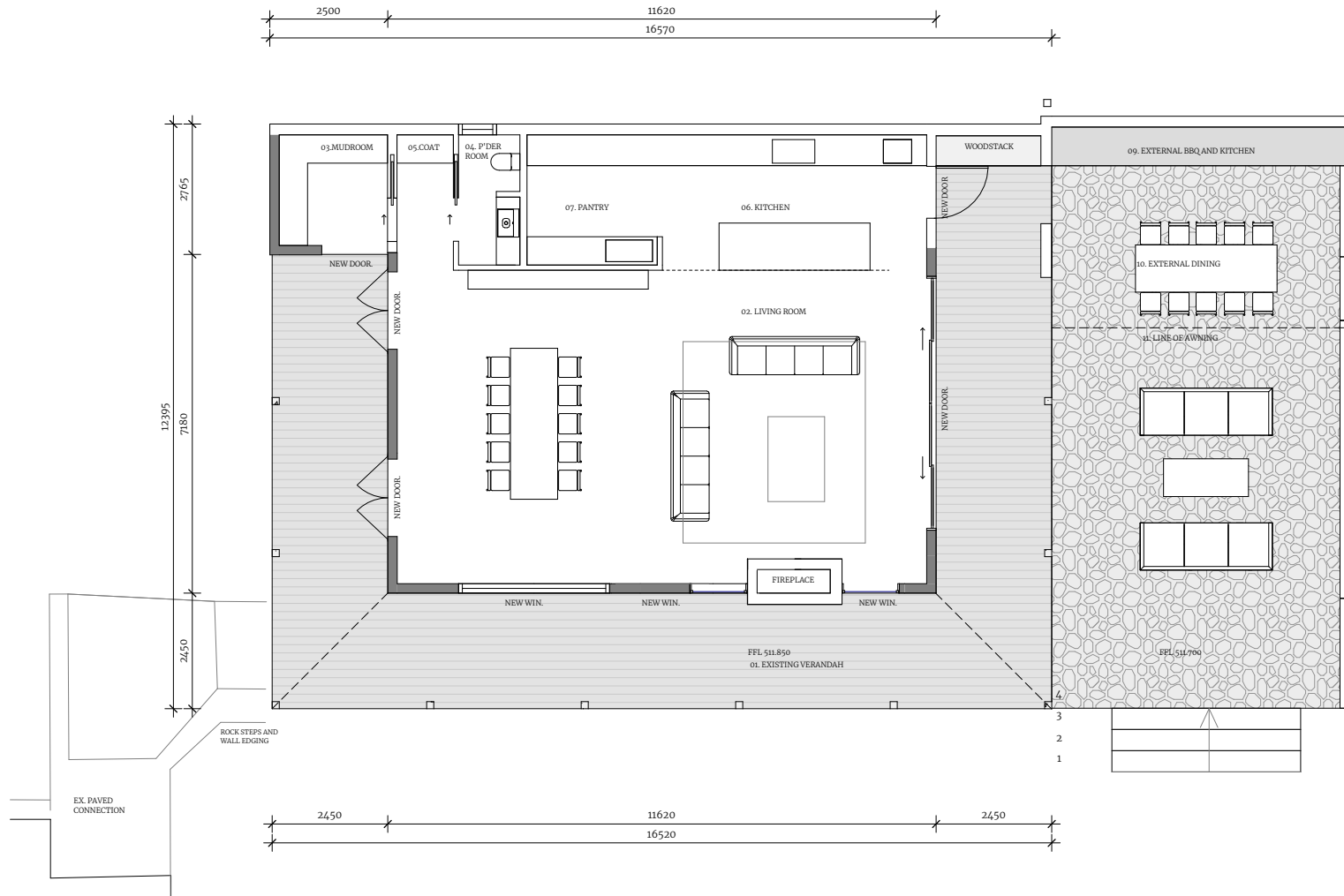
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TOWN PLANNING
 PROPOSED GROUND FLOOR PLAN
 Old Tolmie Road

DRAWING NO. TP 05
 PROJECT NO. TA22109
 DATE 18.02.21 REVISION

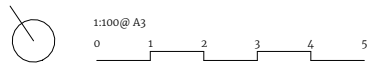
GRAPHIC LEGEND

- EXISTING WALLS (TO BE RETAINED)
- PROPOSED WALLS



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

TOWN PLANNING

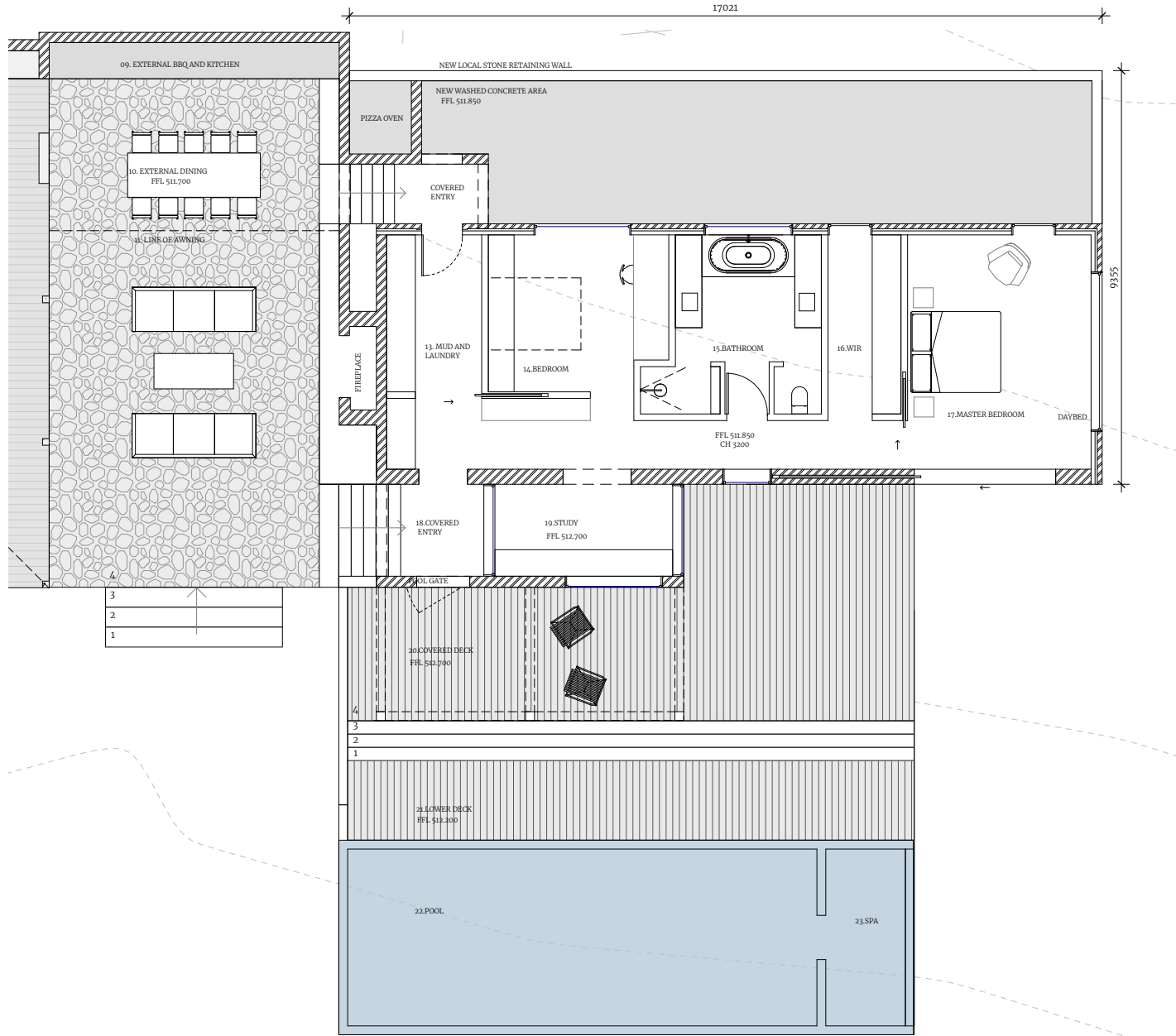
PROPOSED GROUND FLOOR PLAN UPPER HOUSE
 104/106 Mie Road

DRAWING NO. TP 06

PROJECT NO.
 DATE 18.02.21

TA22109
 REVISION

- GRAPHIC LEGEND**
-  Double Brick Wall
 -  Brick Veneer Wall
 -  Stud Internal Wall



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1:100@ A3



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TOWN PLANNING

PROPOSED GROUND FLOOR PLAN (NEW PART) of 10mie Road

DRAWING NO. TP 07

PROJECT NO.
DATE 18.02.21

TA22109
REVISION

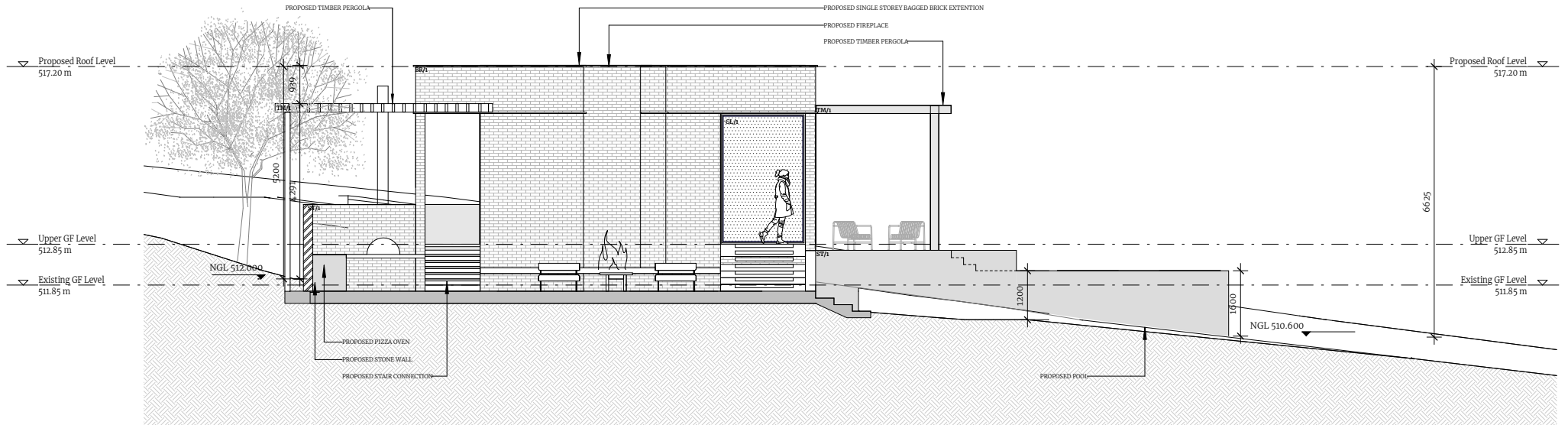
GRAPHIC LEGEND

PROPOSED ELEVATIONS

- ADJOINING BUILDINGS/ STRUCTURES
- EXISTING WALLS (TO BE RETAINED)

MATERIAL FINISHES

- BR/1 - BAGGED BRICK VENEER
- TM/1 - PERGOLA - NATURAL FINISH
- TM/2 - NEW TIMBER WINDOWS - NATURAL FINISH
- CO/1 - CONCRETE FLOOR
- MT/1 - COLORBOND STEEL ROOF
- ST/1 - LOCAL STONE
- GL/1 - CLEAR GLAZING
- WB/1 - EXISTING WEATHERBOARD



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TOWN PLANNING

PROPOSED ELEVATION WEST
 Old Tolmie Road

DRAWING NO. TP 08

PROJECT NO. TA22109
 DATE 18.02.21 REVISION

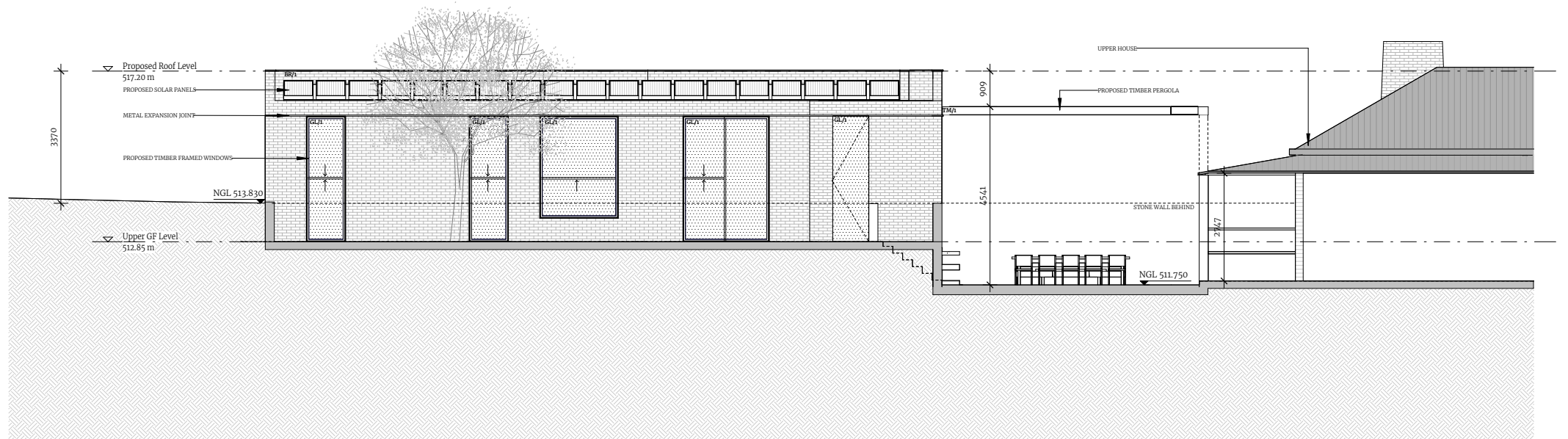
GRAPHIC LEGEND

PROPOSED ELEVATIONS

- ADJOINING BUILDINGS/ STRUCTURES
- EXISTING WALLS (TO BE RETAINED)

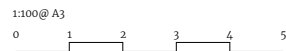
MATERIAL FINISHES

- BR/1 - BAGGED BRICK VENEER
- TM/1 - TIMBER PERGOLA - NATURAL FINISH
- TM/2 - EXISTING TIMBER WINDOWS - PAINT FINISH
- TM/3 - NEW TIMBER WINDOWS - NATURAL FINISH
- CO/1 - CONCRETE FLOOR
- MT/1 - COLORBOND STEEL ROOF
- ST/1 - LOCAL STONE
- GL/1 - CLEAR GLAZING
- WB/1 - EXISTING WEATHERBOARD



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TOWN PLANNING

PROPOSED ELEVATION NORTH
 Old Tolmie Road

DRAWING NO. TP 09

PROJECT NO. TA22109
 DATE 18.02.21 REVISION

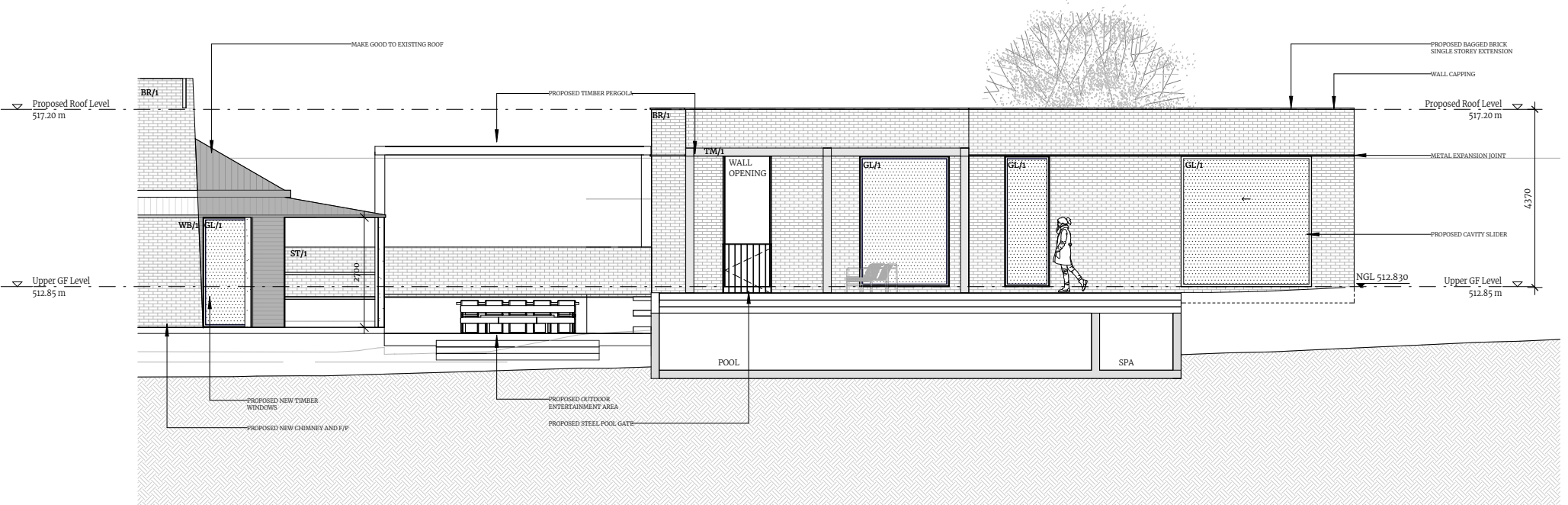
GRAPHIC LEGEND

PROPOSED ELEVATIONS

- ADJOINING BUILDINGS/ STRUCTURES
- EXISTING WALLS (TO BE RETAINED)

MATERIAL FINISHES

- BR/1 - BAGGED BRICK VENEER
- TM/1 - TIMBER PERGOLA
- TM/2 - NEW TIMBER WINDOWS TO EX. HOUSE - PAINT FINISH
- TM/3 - NEW TIMBER WINDOWS - NATURAL FINISH
- CO/1 - CONCRETE FLOOR
- MT/1 - COLOURBOND STEEL ROOF
- ST/1 - LOCAL STONE
- GL/1 - CLEAR GLAZING
- WB/1 - EXISTING WEATHERBOARD



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TOWN PLANNING

PROPOSED ELEVATION SOUTH
 Old Tolmie Road

DRAWING NO. TP 10

PROJECT NO. TA22109
 DATE 18.02.21 REVISION

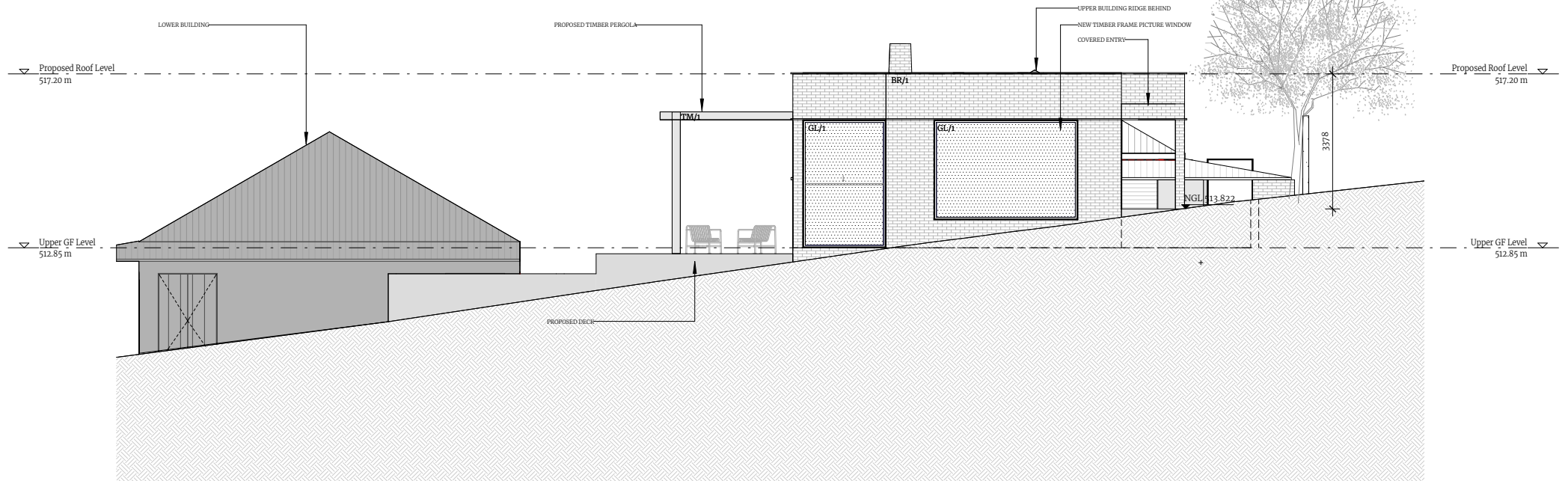
GRAPHIC LEGEND

PROPOSED ELEVATIONS

- ADJOINING BUILDINGS/ STRUCTURES
- EXISTING WALLS (TO BE RETAINED)

MATERIAL FINISHES

- BR/1 - BAGGED BRICK VENEER
- TM/1 - GREY TIMBER CLADDING
- TM/2 - EXISTING TIMBER WINDOWS - PAINT FINISH
- TM/3 - NEW TIMBER WINDOWS - NATURAL FINISH
- CO/1 - CONCRETE FLOOR
- MT/1 - STEEL
- MT/2 - COLORBOND STEEL ROOF
- ST/1 - LOCAL STONE RETAINING WALLS AND PAVING
- GL/1 - CLEAR GLAZING
- WB/1 - EXISTING WEATHERBOARD



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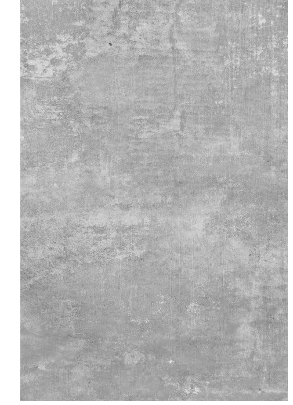
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TOWN PLANNING
 PROPOSED ELEVATION EAST
 Old Tolmie Road

DRAWING NO. TP 11
 PROJECT NO. TA22109
 DATE 18.02.21 REVISION



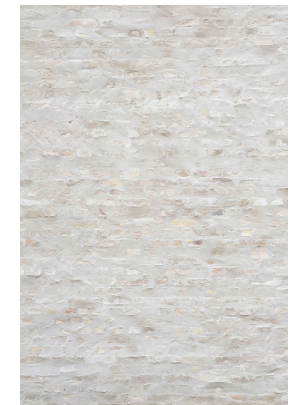
TB/1 - TIMBER DECK



CO/1 - CONCRETE FLOOR



MT/1 - PROPOSED GREY METAL
ROOF METAL



BR/1 - PROPOSED BAGGED BRICK FINISH
CLADDING

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TOWN PLANNING

PROPOSED FINISHES
Old Tolmie Road

DRAWING NO. TP 12

PROJECT NO. TA22109
DATE 18.02.21 REVISION

CONSTRUCTION STANDARD

Building will be designed and constructed to a minimum Bushfire Attack Level of **BAL-29**.

DEFENDABLE SPACE

Defendable space where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level

WATER SUPPLY

10,000 litres of effective water supply is provided for fire fighting purposes which meets the following requirements:

- Unless otherwise agreed in writing by the relevant fire authority, the water supply must:
 - Be stored in an above ground water tank constructed of concrete or metal.
 - Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
 - Include a separate outlet for occupant use.

Where a 10,000 litre water supply is required, fire authority fittings and access must be provided as follows:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

ACCESS

Access for fire fighting purposes is provided which meets the following requirements:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

A turning area for fire fighting vehicles will be provided close to the building by one of the following:

- A turning circle with a minimum radius of eight meters
- A driveway encircling the dwelling
- The provision of other vehicles turning heads – such as a T or Y head – which meet the specification of Austroad Design for an 8.8 meter Service Vehicle

Furthermore, the following shall apply:

- Passing bays must be provided at least every 200 metres
- Passing bays must be a minimum of 20 metres long with a minimum trafficable width of 6 metres

